
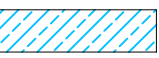









D	Angle	L.F.	Lineal Feet
&	And	L.P.	Low Point / Liquid Petroleum
@	At	LB.	Pound
100 YR.	100 Year Flood Elevation	LGU	Local Government Unit
A.B.	Anchor Bolt	LONG.	Longitudinal
A.D.	Area Drain	LT.	Light / Lighting
A/C	Air Conditioning Unit	MAINT.	Maintenance
ADD.	Addendum	MAS.	Masonry
ADDU.	Additional	MATL.	Material
ADJ.	Adjacent / Adjust	MAX.	Maximum
AHU	Air Handling Unit	MECH.	Mechanical
ALT.	Alternate	MED.	Medium
ALUM.	Aluminum	MFR.	Manufacturer
ANOD.	Anodized	MH.	Manhole
APPROX.	Approximate	MIN.	Minimum / Minute
ARCH.	Architect / Architectural	MISC.	Miscellaneous
AUTO.	Automatic	MINDOT	Minnesota Department of Transportation
AVG.	Average	MOD.	Module / Modular
B.C.	Back of Curb	MUL.	Mulion
B/W	Bottom of Wall	N.	North
BFE	Basement Floor Elevation	N.I.C.	Not In Contract
BIT	Bituminous (Asphaltic)	NO. OR #	Number
BLDG.	Building	NOM.	Nominal
BSMT.	Basement	NTS	Not to Scale
C.F.	Cubic Feet	NWE	Normal Water Elevation
C.F.S.	Cubic Feet Per Second	NWL	Normal Water Level
C.G.	Corner Guard	O.C.	On Center
C.J.	Control Joint	O.D.	Outside Dimension
C.L.	Centerline	O.E.	Overhead Electric
C.M.U.	Concrete Masonry Unit	OH.	Ordinary High Water Level
C.O.	Cleanout	OPNG.	Opening
C.O.E.	U.S. Army Corps Of Engineers	ORIG.	Original
C.Y.	Cubic Yards	P.C.	Point of Curvature
CB	Catch Basin	P.I.	Point of Intersection
CBMH	Catch Basin Manhole	PIV.	Post Indicator Valve
CEM.	Cement	P.L. OR P/L.	Property Line
CIP	Cast Iron Pipe	P.O.B.	Point of Beginning
CMP	Corrugated Metal Pipe	P.S.F.	Pounds Per Square Foot
CONC.	Concrete (Portland)	P.S.I.	Pounds Per Square Inch
CONN.	Connection	P.T.	Point of Tangency
CONST.	Construction	P.V.C.	Point of Vertical Curvature
CONT.	Continuous	P.V.I.	Point of Vertical Intersection
CONTR.	Contractor	P.V.T.	Point of Vertical Tangency
COP.	Copper	PE	Polyethylene
CU.	Cubic	PED.	Pedestal / Pedestrian
D.S.	Down Spout	PERF.	Perforated
DEG.	Degree	PREP.	Preparation
DEMO.	Demolition / Demolish	PROJ.	Project
DEPT.	Department	PROP.	Proposed
DET.	Detail	PVC	Poly-Vinyl-Chloride (Piping)
DIA.	Diameter	PVMT.	Pavement
DIAG.	Diagonal	QTR.	Quarter
DIM.	Dimension	QTY.	Quantity
DIP	Ductile Iron Pipe	R	Radius
DN	Down	RAD.	Radius
DWG.	Drawing	RE	Rin Elevation (Casting)
E	East	R.D.	Roof Drain
E.E.	Expansion Joint	R.E.	Remove Existing
E.O.	Emergency Overflow	R.O.	Rough Opening
E.O.S.	Emergency Overflow Swale	R.P.	Radius Point
E.W.	Each Way	RCP	Reinforced Concrete Pipe
EA.	Each	R.S.	Rough Slab
EL.	Elevation	RSD	Roof Storm Drain
ELEC.	Electrical	RE	Regarding
ELEV.	Elevation	REINF.	Reinforced
EMER.	Emergency	REQD.	Required
ENGR.	Engineer	REV.	Revision / Revised
ENTR.	Entrance	ROIJ.	Regulatory Government Unit
EQ.	Equal	ROW OR R/W	Right of Way
EQUIP.	Equipment	S.	South
EQUIV.	Equivalent	S.F.	Square Feet
EXIST.	Existing	SAN.	Sanitary Sewer
EXP.	Expansion	SECT.	Section
F & I	Furnish and Install	SE	Side Exit
F.B.O.	Furnished by Others	SEWO	Side Exit Walk Out
F.C.	Face of Curb	SHT.	Sheet
F.D.	Field Drain	SIM	Similar
F.D.C.	Fire Department Connection	SLMT.	Sealant
F.V.	Field Verify	SPEC.	Specification
FB	Full Basement	SQ.	Square
FBWO	Full Basement Walk Out	SSD	Subsurface drain
FBLO	Full Basement Look Out	STMH	Storm Sewer Manhole
FDN.	Foundation	STD.	Standard
FES	Flared End Section	STRUCT.	Structural
FDE	Finished Floor Elevation	SYM.	Symmetrical
FLR.	Finish Floor	T	Thickness
FT. OR (T)	Foot	TR	Top of Rim
FUT.	Future	TW	Top of Wall
G.B.	Grade Break	TEMP.	Temporary
G.C.	General Contractor	THK.	Thick / Thickness
GAL.	Gallon	T.J.	Toolled Joint
GALV.	Galvanized	TNH	Top Nut Hydrant
GFE	Garage Floor Elevation	TYP.	Typical
GL.	Glass	U.N.O	Unless Noted Otherwise
GR.	Grade	V.V.B.	Vertical Vapor Barrier
H	Height	V.C.	Vertical Curve
HDPEP	High Density Polyethylene Pipe	V.I.F.	Verify In Field
HGT.	Height	VER.	Verify
HGT.	Height	VERT.	Vertical
HORIZ.	Horizontal	VEST.	Vestibule
HVAC	Heating, Ventilation, Air Conditioning	W	Width
HYD	Hydrant	W.P.T.	Working Point
I.D.	Inside Dimension	W.W.F.	Welded Wire Fabric
I.E. or IE	Invert Elevation	WI	Win
IN. OR (T)	Inches	WIO	Without
INFO.	Information	WO	Walk Out
INL.	Inlet Elevation	WETL.	Wetland
INSUL.	Insulation	WP	Waterproof
INV.	Invert Elevation	WT.	Weight
JT.	Joint	YD.	Yard
		YR.	Year

EXISTING	DESCRIPTION	NEW	DESCRIPTION
	MAJOR CONTOUR		MAJOR CONTOUR
	MINOR CONTOUR		MINOR CONTOUR
	SPOT ELEVATION		SPOT ELEVATION
	BUILDING		BUILDING
	CANOPY / OVERHANG		CANOPY/OVERHANG
	UNDERGROUND STRUCTURE		UNDERGROUND STRUCTURE
	CONCRETE		CONCRETE
	BITUMINOUS		CONCRETE CURB
	LANDSCAPING		EDGE OF PAVEMENT
	GRAVEL		FENCING
	PAVING BLOCK		GUARD RAIL
	PAVING BLOCK		CONCRETE RETAINING WALL

EROSION CONTROL SYMBOLS	
SYMBOL	DESCRIPTION
	SEDIMENT CONTROL FENCE
	INLET PROTECTION
	EROSION CONTROL BLANKET

DRAWING SYMBOLS

SYMBOL	DESCRIPTION
	NOTE REFERENCE
	PARKING STALL COUNT
	LARGE SHEET DETAIL
	COORDINATE POINT
	REVISION - ADDENDUM, BULLETIN, ETC.
	REVISED AREA (THIS ISSUE)

LEGAL DESCRIPTION

THE SOUTH HALF OF THE SOUTHWEST QUARTER (S 1/2 OF SW 1/4), SECTION 23, TOWNSHIP 116, RANGE 23, CARVER COUNTY, MINNESOTA, EXCEPT THE FOLLOWING 2 DESCRIBED TRACTS:

LINE 1. COMMENCING AT THE SOUTHWEST CORNER OF SECTION 23, TOWNSHIP 116, RANGE 23, THENCE RUNNING NORTH ON SECTION LINE 30 FEET; THENCE IN A STRAIGHT LINE TO A POINT ON THE SOUTH SECTION LINE OF SAID SECTION, 30 FEET EAST OF THE SOUTHWEST CORNER OF SAID SECTION, THENCE WEST 30 FEET TO SAID SOUTHWEST CORNER OF SAID SECTION AND PLACE OF BEGINNING, BEING A THREE CORNERED PIECE IN SOUTHWEST CORNER OF SAID SECTION 23, TOWNSHIP 116, RANGE 23; AND 2. THAT PART OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER AND THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER, BOTH IN SECTION 23, TOWNSHIP 116 NORTH, RANGE 23 WEST, CARVER COUNTY, MINNESOTA WHICH LIES EASTERLY OF LINE 2 DESCRIBED BELOW:

LINE 2. BEGINNING AT THE SOUTH QUARTER CORNER OF SAID SECTION 23, THENCE RUN WEST ON AN AZIMUTH OF 271 DEGREES 56 MINUTES 13 SECONDS ALONG THE SOUTH LINE OF SAID SECTION 23 FOR 1634.23 FEET TO A POINT; THENCE ON AN AZIMUTH OF 00 DEGREES 43 MINUTES 24 SECONDS FOR 500.11 FEET TO A POINT; THENCE ON AN AZIMUTH OF 91 DEGREES 56 MINUTES 13 SECONDS FOR 1173.46 FEET TO A POINT; THENCE ON AN AZIMUTH OF 29 DEGREES 19 MINUTES 18 SECONDS FOR 152.11 FEET TO A POINT; THENCE ON AN AZIMUTH OF 352 DEGREES 57 MINUTES 23 SECONDS FOR 709.98 FEET TO A POINT ON THE NORTH LINE OF SAID SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER; THENCE ON AN AZIMUTH OF 91 DEGREES 23 MINUTES 02 SECONDS ALONG THE NORTH LINE OF SAID SOUTEAST QUARTER OF THE SOUTHWEST QUARTER FOR 475.37 FEET TO THE NORTHEAST CORNER OF SAID SOUTEAST QUARTER OF THE SOUTHWEST QUARTER AND THERE TERMINATING.

ABSTRACT.

TOGETHER WITH PARCEL 1

THE NORTH 420.00 FEET OF THE EAST 414.86 FEET OF THE NW 1/4 OF THE SW 1/4 OF SECTION 23, TOWNSHIP 116, RANGE 23, CARVER COUNTY, MINNESOTA.

PARCEL 2

THE NW 1/4 OF THE SW 1/4 OF SECTION 23, TOWNSHIP 116, RANGE 23, CARVER COUNTY, MINNESOTA EXCEPT FOR THE SOUTH 658.24 FEET THEREOF; AND ALSO EXCEPT THE NORTH 420.00 FEET OF THE EAST 414.86 FEET THEREOF.

PARCEL 3

THE SOUTH 658.24 FEET OF THE NW 1/4 OF THE SW 1/4 OF SECTION 23, TOWNSHIP 116, RANGE 23, CARVER COUNTY, MINNESOTA.

TOGETHER WITH

THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER (NE 1/4 OF SW 1/4) OF SECTION TWENTY-THREE (23), TOWNSHIP ONE HUNDRED SIXTEEN (116) NORTH OF RANGE TWENTY-THREE (23) WEST, CARVER COUNTY, MINNESOTA, EXCEPT THAT PART OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER (NE 1/4 OF SW 1/4) OF SECTION TWENTY-THREE (23), TOWNSHIP ONE HUNDRED SIXTEEN (116) NORTH, RANGE TWENTY-THREE (23) WEST, SHOWN AS PARCEL 64 ON MINNESOTA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY PLAN NO. 10-19, FILED 10-19-2004 AS DOCUMENT NO. 39593

BENCHMARK

SITE BENCHMARK:

BM-1 : TOP NUT OF HYDRANT
LOCATION: SOUTHEAST QUADRANT OF POWERS BLVD. & LYMAN BLVD.
ELEVATION = 921.32)


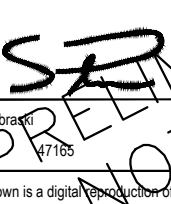
BM-2 : TOP NUT OF HYDRANT
LOCATION: WESTERLY SIDE OF POWERS BLVD, 1.960 FT ± SOUTH OF LYMAN BLVD.
ELEVATION = 913.82)

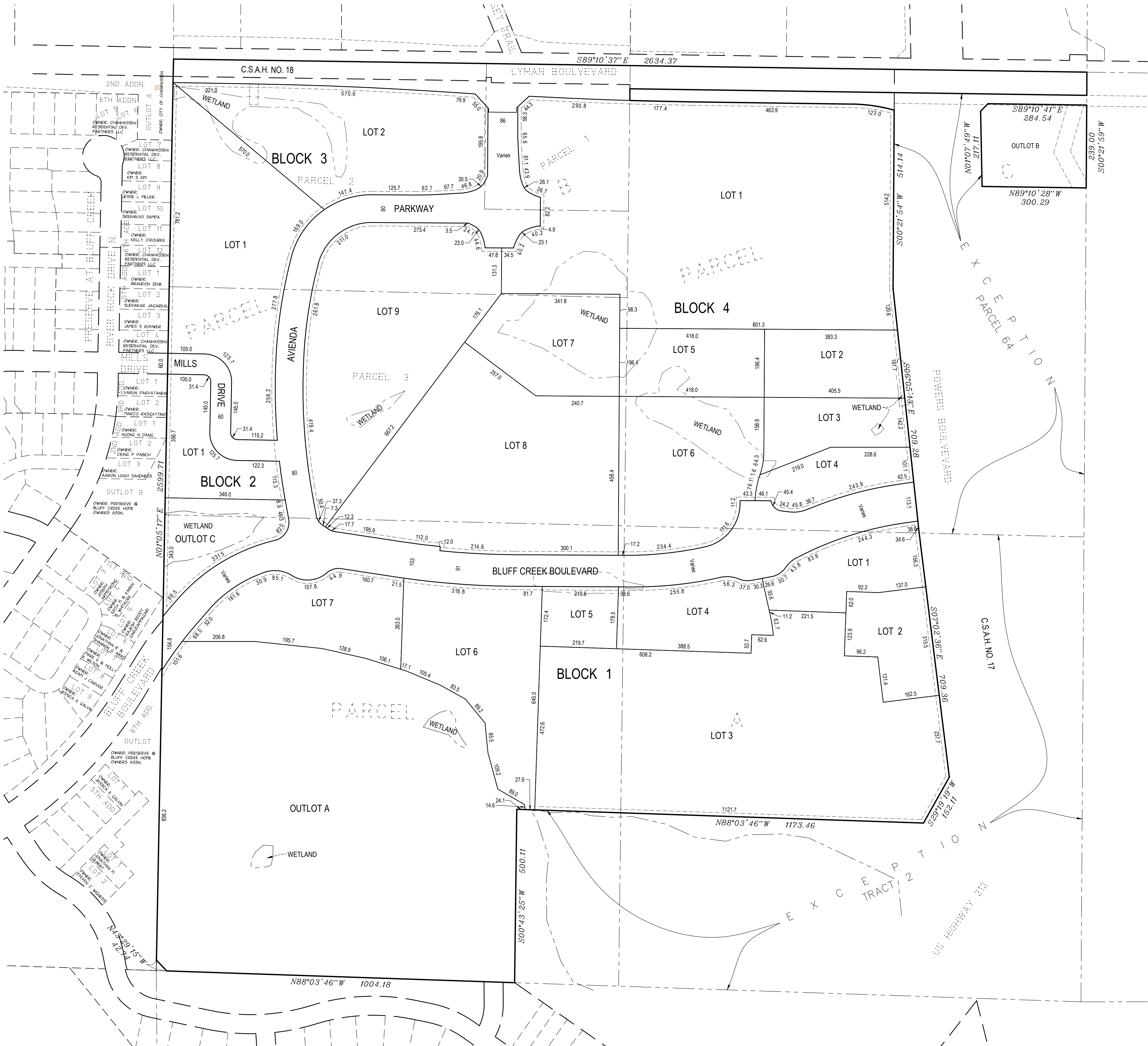
SITE / UTILITY CONTACTS

BUILDING OFFICIAL CITY OF CHANHASSEN 7700 MARKET BLVD. P.O. BOX 147 CHANHASSEN, MN 55317 JERRY MOHN jrmohn@ci.chanhassen.mn.us TEL: 952-227-1180 FAX: 952-227-1190	GAS CENTERPOINT ENERGY 700 LINDEN AVE W. MINNEAPOLIS, MN 55403 NewConstructionServices@CenterPointEnergy TEL: 800-342-4166 FAX:
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<h2 style="margin: 0;">LEVEL 7 DEVELOPMENT, LLC</h2> <p style="margin: 0;">4600 KINGS POINT RD MINNETRISTA, MN 55331</p>		<h2 style="margin: 0;">OWNER</h2>	
<h2 style="margin: 0;">DEVELOPER</h2>			
<h3 style="margin: 0;">LIFE TIME</h3> <p style="margin: 0;">2902 CORPORATE PLACE CHANHASSEN, MN 55317 TEL 952-229-7090 CONTACT: MARK NORDLAND</p>			
<h3 style="margin: 0;">PROJECT CONTACTS</h3>			
<p>CIVIL ENGINEER LANDFORM 105 SOUTH FIFTH AVENUE, SUITE 513 MINNEAPOLIS, MN 55401 TEL 612-252-9070 CONTACT: STEVE SABRASKI</p> <p>LANDSCAPE ARCHITECT LANDFORM 105 SOUTH FIFTH AVENUE, SUITE 513 MINNEAPOLIS, MN 55401 TEL 612-252-9070 CONTACT: JOSH POPEHN</p>		<p>SURVEYOR LANDFORM 105 SOUTH FIFTH AVENUE, SUITE 513 MINNEAPOLIS, MN 55401 TEL 612-252-9070 CONTACT: LYNN CASWELL</p> <p>ARCHITECT RSP ARCHITECTS 122 MARSHALL ST. NE MINNEAPOLIS, MN 55413 TEL 612-677-7100 CONTACT: JEFF HYSJULIEN</p>	
<h3 style="margin: 0;">CIVIL / LANDSCAPE SHEET INDEX & REVISION MATRIX</h3>			
<p style="margin: 0;">SHEETS ISSUED BY DATE (FOR EARLIER DATES CONTACT LANDFORM)</p>			
SHEET DESCRIPTION	04	05	06
C0.1 CIVIL & LANDSCAPE TITLE SHEET	X	X	X
C0.2 PRELIMINARY PLAT	X	X	X
C1.1 EXISTING CONDITIONS	X	X	X
C1.3 TREE PRESERVATION	X	X	X
C1.4 TREE INVENTORY	X	X	X
C2.0 ULTIMATE SITE PLAN	X	X	X
C2.1 PHASE 1 OVERALL SITE PLAN	X	X	X
C2.2 TYPICAL STREET SECTIONS	X	X	X
C3.0 ULTIMATE GRADING, DRAINAGE, & PAVING	X	X	X
C3.1 CONSTRUCTION GRADING, DRAINAGE & EROSION	X	X	X
C3.1A NW CONSTRUCTION GRADING, DRAINAGE & EROSION	X	X	X
C3.1B NE CONSTRUCTION GRADING, DRAINAGE & EROSION	X	X	X
C3.1C SE CONSTRUCTION GRADING, DRAINAGE & EROSION	X	X	X
C3.1D SW CONSTRUCTION GRADING, DRAINAGE & EROSION	X	X	X
C3.2 PHASE 1 OVERALL GRADING, DRAINAGE, & EROSION	X	X	X
C3.2A NW PHASE 1 GRADING, DRAINAGE, & EROSION	X	X	X
C3.2B NE PHASE 1 GRADING, DRAINAGE, & EROSION	X	X	X
C3.2C SE PHASE 1 GRADING, DRAINAGE, & EROSION	X	X	X
C3.2D SW PHASE 1 GRADING, DRAINAGE, & EROSION	X	X	X
C3.3A BASIN CROSS SECTIONS	X	X	X
C3.3B BASIN CROSS SECTIONS	X	X	X
C3.3C BASIN CROSS SECTIONS	X	X	X
C3.3D BASIN CROSS SECTIONS	X	X	X
C3.4 PHASE 1 SEEDING & SODDING	X	X	X
C3.5 PHASE 1 SWPPP NOTES	X	X	X
C3.6 PHASE 1 SOIL LOOSENING AREAS	X	X	X
C4.0 ULTIMATE UTILITIES	X	X	X
C4.1 PHASE 1 OVERALL UTILITIES	X	X	X
C5.1 WEST AVIENDA PARKWAY STREET & STORM	X	X	X
C5.2 WEST AVIENDA PARKWAY STREET & STORM	X	X	X
C5.3 NORTH AVIENDA PARKWAY STREET & STORM	X	X	X
C5.4 NORTHWEST OUTLET STREET & STORM	X	X	X
C5.5 SUNSET TRAIL STREET PROFILE	X	X	X
C5.6 EAST TEMP BASIN STORM	X	X	X
C5.7 SOUTH INTERIM BASINS STORM	X	X	X
C6.1 WEST AVIENDA PARKWAY WATER & SANITARY	X	X	X
C6.2 WEST AVIENDA PARKWAY WATER & SANITARY	X	X	X
C6.3 NORTH AVIENDA PARKWAY WATER & SANITARY	X	X	X
C6.4 SUNSET TRAIL WATER & SANITARY	X	X	X
C6.5 NORTHWEST OUTLET WATER & SANITARY	X	X	X
C6.6 NORTHWEST OUTLET WATER & SANITARY	X	X	X
C7.1 CIVIL CONSTRUCTION DETAILS	X	X	X
C7.2 CIVIL CONSTRUCTION DETAILS	X	X	X
C7.3 CIVIL CONSTRUCTION DETAILS	X	X	X
C7.4 CIVIL CONSTRUCTION DETAILS	X	X	X
C7.5 CIVIL CONSTRUCTION DETAILS	X	X	X
C7.6 CIVIL CONSTRUCTION DETAILS	X	X	X
L2.1 OVERALL SITE PLAN	X	X	X
L2.1A NORTH PHASE 1 PLANTING PLAN	X	X	X
L2.1B SE PHASE 1 PLANTING PLAN	X	X	X
L2.1C SW PHASE 1 PLANTING PLAN	X	X	X
L2.2B SW PHASE 1 PLANTING ENLARGED PLAN	X	X	X
L7.1 LANDSCAPE NOTES & DETAILS	X	X	X

<p>ELECTRIC MINNESOTA VALLEY ELECTRIC COMPANY 125 MINNESOTA VALLEY ELECTRIC DR. JORDAN, MN 55352</p> <p>BRIAN LUCE</p> <p>TEL: 952-233-8988 FAX:</p>	<p>TELEPHONE CENTURYLINK 200 S 5TH ST. MINNEAPOLIS, MN 55402</p> <p>TEL: 866-642-0444 FAX:</p>
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OWNER		
LEVEL 7 DEVELOPMENT, LLC 4600 KINGS POINT RD MINNETRISTA, MN 55331		
MUNICIPALITY		
		
PROJECT		
AVIENDA		
ISSUE / REVISION HISTORY		
CONTACT ENGINEER FOR ANY PRIOR HISTORY		
DATE	ISSUE / REVISION	REVIEW
22 APR 2020	WATERSHED SUBMITTAL	SES
01 MAY 2020	CITY SUBMITTAL	SES
27 MAY 2020	WATERSHED SUBMITTAL	SES
PROJECT MANAGER REVIEW		
BY SES DATE 05-19-2020		
CERTIFICATION		
I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.		
 SEAL REQUIRED		
Steven E. Sabrowski License No. 27780	Date: 05/27/2020	
Signature shown is a digital signature of original. Not binding copy of this plan on file at Landform Professionals Services, LLC office and available upon request.		
IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.		
WATERSHED SUBMITTAL MAY 27, 2020		
L A N D F O R M From Site to Finish		
105 South Fifth Avenue Suite 513 Minneapolis, MN 55401		
Tel: 612-252-9070 Fax: 612-252-9077 Web: landform.net		
FILE NAME C001SCD001.DWG		
PROJECT NO. SCD14001.LEV		
CIVIL & LANDSCAPE TITLE SHEET C0.1		



PROPERTY AREA

PROPERTY AREA - 5,032,000 SQ. FT. = 115,518 AC.

ROPERTY DESCRIPTION

Parcel A:

The South Half of the Southwest Quarter (S 1/2 of SW 1/4), Section 23, Township 116, Range 23, Carver County, Minnesota, except the following 2 described tracts:

1. Commencing at the Southwest corner of Section 23, Township 116, Range 23; thence running North on Section line 30 feet; thence in a straight line to a point on the South Section line of said Section, 30 feet East of the Southwest corner of said Section; thence West 30 feet to said Southwest corner of said Section and place of beginning, being a three cornered piece in Southwest corner of said Section 23, Township 116, Range 23; and

2. That part of the Southeast Quarter of the Southwest Quarter and the East Half of the Southwest Quarter of the Southwest Quarter, both in Section 23, Township 116 North, Range 23 West, Carver County, Minnesota which lies easterly of Line 2 described below:

Line 2: Beginning at the south quarter corner of said Section 23; thence run west on an azimuth of 271 degrees 56 minutes 13 seconds along the south line of said Section 23 for 1634.23 feet to a point; thence on an azimuth of 00 degrees 43 minutes 24 seconds for 500.11 feet to a point; thence on an azimuth of 91 degrees 56 minutes 13 seconds for 1173.46 feet to a point; thence on an azimuth of 29 degrees 19 minutes 18 seconds for 152.11 feet to a point; thence on an azimuth of 352 degrees 57 minutes 23 seconds for 709.36 feet to a point on the north line of said Southeast Quarter of the Southwest Quarter; thence on an azimuth of 91 degrees 23 minutes 02 seconds along the north line of said Southeast Quarter of the Southwest Quarter for 475.37 feet to the northeast corner of said Southeast Quarter of the Southwest Quarter and there terminating.

Together with:

Parcel B:

Parcel 1:

The North 420.00 feet of the East 414.86 feet of the NW 1/4 of the SW 1/4 of Section 23, Township 116, Range 23, Carver County, Minnesota.

Parcel 2:

The NW 1/4 of the SW 1/4 of Section 23, Township 116, Range 23, Carver County, Minnesota, except for the South 658.24 feet thereof; and also except the North 420.00 feet of the East 414.86 feet thereof, Together with the benefits contained in Declaration of Easement filed March 28, 2013 as Document Number A574087.

Parcel 3:

The South 658.24 feet of the NW 1/4 of the SW 1/4 of Section 23, Township 116, Range 23, Carver County, Minnesota.

Together with:

Parcel C:

The Northeast Quarter of the Southwest Quarter (NE 1/4 of SW 1/4) of Section Twenty-three (23), Township One Hundred Sixteen (116) North of Range Twenty-three (23) West, Carver County, Minnesota.

Except that part of the Northeast Quarter of the Southwest Quarter (NE 1/4 of SW 1/4) of Section Twenty-three (23), Township One Hundred Sixteen (116) North, Range Twenty-three (23) West, shown as Parcel 64 on Minnesota Department of Transportation Right of Way Plat No. 10-19, filed 10-19-2004 as Document No. 399300.

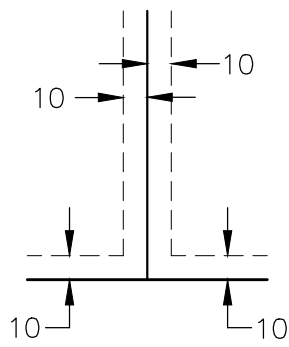
Further Except that part of the Northeast Quarter of the Southwest Quarter (NE 1/4 of SW 1/4) of Section Twenty-three (23), Township One Hundred Sixteen (116) North, Range Twenty-three (23) West, shown as Parcel 16A on Carver County Right of Way Plat No. 20, approved 4-2-2013, filed 4-9-2013 as Document No. A574725.

LOT AREA TABLE

Parcel Table			Parcel Table		
Parcel #	Area	Lot/Block	Parcel #	Area	Lot/Block
1	77,444	1/1	13	66,450	3/4
2	66,424	2/1	14	56,616	4/4
3	560,463	3/1	15	82,109	5/4
4	83,649	4/1	16	171,305	6/4
5	38,553	5/1	17	108,461	7/4
6	165,599	6/1	18	342,521	8/4
7	119,239	7/1	19	305,519	9/4
8	69,449	1/2	20	909,287	Outlot A
9	258,246	1/3	21	72,271	Outlot B
10	220,652	2/3	22	67,892	Outlot C
11	680,098	1/4	23	432,286	R/W
12	77,467	2/4	24	200,013	R/W (County)

EASEMENT LEGEND

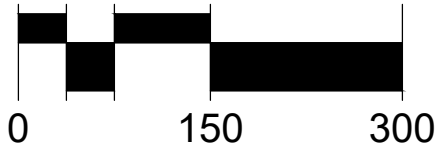
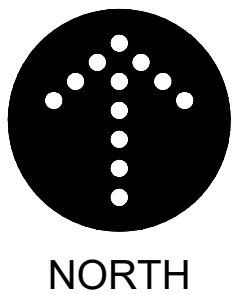
DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS: (NOT TO SCALE)



BEING 10 FEET IN WIDTH AND ADJOINING LOT LINES, UNLESS OTHERWISE SHOWN AND 10 FEET IN WIDTH AND ADJOINING RIGHT OF WAY LINES UNLESS OTHERWISE INDICATED



Know what's Below.
Call before you dig.



OWNER

LEVEL 7 DEVELOPMENT, LLC

4600 KINGS POINT RD
MINNETRISTA, MN 55331

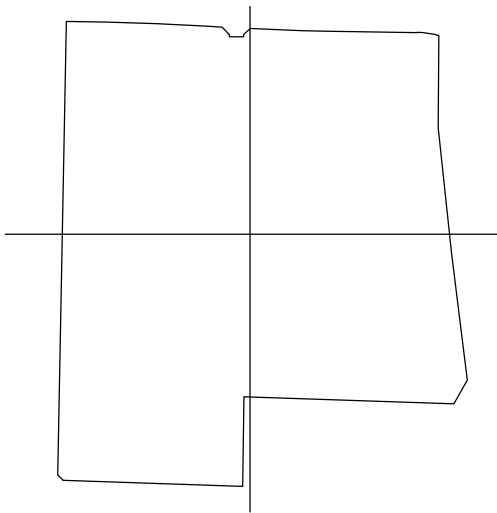
MUNICIPALITY



PROJECT

AVIENDA

KEY MAP



ISSUE / REVISION HISTORY

CONTACT ENGINEER FOR ANY PRIOR HISTORY		
DATE	ISSUE / REVISION	REVIEW
22 APR 2020	WATERSHED SUBMITTAL	SES
01 MAY 2020	CITY SUBMITTAL	SES
27 MAY 2020	WATERSHED SUBMITTAL	SES

PROJECT MANAGER REVIEW

BY SES

DATE 05.19.2020

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of MINNESOTA.

PRELIMINARY
NOT FOR CONSTRUCTION

Steven E. Sabers
License No. 14718 Date: 05/27/2010

Signature shown is a digital signature of original. The printed copy of this plan on file at Landform Professional Services, LLC, Office and the scanned copy on request.

IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

WATERSHED SUBMITTAL

MAY 27, 2020



105 South Fifth Avenue Tel: 612-252-9070
Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

FILE NAME C002SCD001.dwg
PROJECT NO. SCD14001.LEV

PRELIMINARY

PLAT

C0.2



TREE INVENTORY SUMMARY

SITE AREA 5,149,807 S.F.
WETLANDS 248,510 S.F.
4,901,297 S.F. AREA REQUIRED TO CALCULATE BASELINE CANOPY COVERAGE
TOTAL BASELINE TREE CANOPY ON SITE = 1,282,126 S.F. (26% OF 4,901,297 S.F. TOTAL SITE)
372,411 S.F. CANOPY REMOVED (29%)
909,715 S.F. CANOPY PRESERVED (71%)

TREE PRESERVATION NOTES

- REFER TO SHEET C14 FOR EXISTING TREE SIZES AND SPECIES.
- REFER TO SHEETS C3.1 FOR SILT FENCE LOCATION.

LEGEND

- TREE CANOPY TO BE REMOVED
- TREE PROTECTION - REFER TO DETAIL C7.5/1.
- EXISTING TREE CANOPY NOT SURVEYED
- WETLANDS

OWNER

LEVEL 7 DEVELOPMENT, LLC
4600 KINGS POINT RD
MINNETRISTA, MN 55331

MUNICIPALITY



PROJECT

AVIENDA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
22 APR 2020	WATERSHED SUBMITTAL	SES
01 MAY 2020	CITY SUBMITTAL	SES
27 MAY 2020	WATERSHED SUBMITTAL	SES

PROJECT MANAGER REVIEW

BY SES DATE 05.19.2020

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of MINNESOTA.

PRELIMINARY
NOT FOR CONSTRUCTION

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WATERSHED SUBMITTAL
MAY 27, 2020

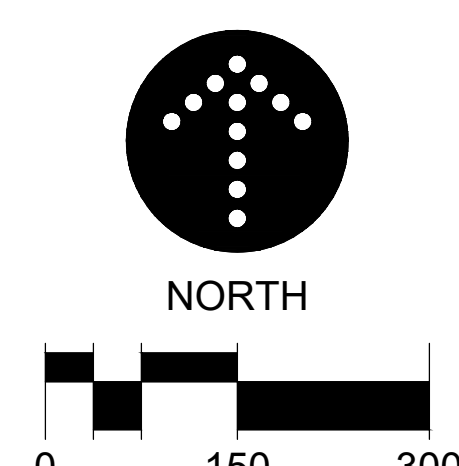
LANDFORM
From Site to Finish

105 South Fifth Avenue Suite 513
Minneapolis, MN 55401
Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

FILE NAME C103SCD001.DWG
PROJECT NO. SCD14001.LEV

TREE PRESERVATION
C1.3

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Tree Number	Diameter (Inches)	Species	Removed	Significant or Special
1	17	ELM	y	Significant
2	10	BOX ELDER	y	
3	10	BOX ELDER	y	
4	10	BOX ELDER	y	Significant
5	18.1	BOX ELDER	y	Special
6	10	BOX ELDER	y	
7	12	BOX ELDER	y	
8	16	BASSWOOD	y	Significant
9	18	ELM	y	Significant
10	10	BOX ELDER	y	
11	10	ASH	y	
12	15	HACKBERRY	y	Significant
13	13	ELM	y	Significant
14	19	ELM	y	Significant
15	10	BOX ELDER	y	
16	11	BOX ELDER	y	
17	18	ELM	y	Significant
18	14	ELM	y	Significant
19	12	BOX ELDER	y	
20	24	ELM	y	Special
21	14	BOX ELDER	y	Significant
22	17	BOX ELDER	y	Significant
23	12	BOX ELDER	y	
24	10	ASH	y	
25	15	ELM	y	Significant
26	12	BOX ELDER	y	
27	11	ASH	y	
28	11	ASH	y	
29	12	BOX ELDER	y	Special
30	16	ELM	y	Significant
31	16	BOX ELDER	y	Significant
32	13	ELM	y	Significant
33	16	IRONWOOD	y	Significant
34	11	COTTONWOOD	y	
35	12	ELM	y	
36	10	BOX ELDER	y	
37	10	BOX ELDER	y	
38	10	ELM	y	
39	12	ELM	y	
40	16	BOX ELDER	y	Significant
41	21	BOX ELDER	y	Special
42	13	ASH	y	Significant
43	11	OAK	y	
44	15	OAK	y	Significant

Tree Number	Diameter (Inches)	Species	Removed	Significant or Special
45	10	ELM	y	
46	12	BOX ELDER	y	
47	26	OAK	y	Special
48	17	BOX ELDER	y	Significant
49	35	OAK	y	Special
50	17	ELM	y	Significant
51	10	ASH	y	
52	17	ELM	y	Significant
53	10	ELM	y	
54	26	ELM	y	Special
55	19	ELM	y	Significant
56	10	BOX ELDER	y	
57	15	ELM	y	
58	12	ELM	y	
59	11	ELM	y	
60	11	BASSWOOD	y	
61	14	ELM	y	Significant
62	10	IRONWOOD	y	
63	15	BOX ELDER	y	Significant
64	23	ASH	y	Special
65	12	BOX ELDER	y	
66	19	BOX ELDER	y	Significant
67	10	ASH	y	
68	11	BOX ELDER	y	
69	15	BASSWOOD	y	Significant
70	20	BLACK CHERRY	y	Special
71	10	IRONWOOD	y	
72	11	ASH	y	
73	16	ASH	y	Significant
74	25	ELM	y	Special
75	17	COTTONWOOD	y	
76	15	MAPLE	y	Significant
77	16	IRONWOOD	y	Significant
78	10	ELM	y	
79	25	OAK	y	Special
80	18	BASSWOOD	y	
81	21	ASH	y	Special
82	10	MAPLE	y	
83	20	IRONWOOD	y	
84	12	MAPLE	y	
85	18	OAK	y	Significant
86	23	OAK	y	Significant
87	14	OAK	y	Significant
88	31	OAK	y	Special

Tree Number	Diameter (Inches)	Species	Removed	Significant or Special
89	10	MAPLE	y	
90	13	IRONWOOD	y	Significant
91	10	IRONWOOD	y	
92	10	ASH	y	
93	13	ELM	y	Significant
94	10	ASH	y	
95	11	MAPLE	y	
96	10	ASH	y	
97	29	OAK	y	Special
98	16	MAPLE	y	Significant
99	13	ASH	y	Significant
100	16	ASH	y	Significant
101	12	ELM	y	
102	16	BASSWOOD	y	
103	15	OAK	y	Significant
104	23	OAK	y	
105	15	BASSWOOD	y	Significant
106	11	ASH	y	
107	13	ASH	y	
108	13	ELM	y	Significant
109	12	ASH	y	
110	28	ASH	y	Significant
111	12	ELM	y	
112	17	ASH	y	Significant
113	13	ELM	y	Significant
114	10	ASH	y	
115	15	ASH	y	Significant
116	14	BASSWOOD	y	
117	18	ASH	y	Significant
118	10	BOX ELDER	y	
119	13	ELM	y	Significant
120	12	ASH	y	
121	19	ELM	y	Significant
122	13	ASH	y	Significant
123	15	ELM	y	Significant
124	18	ELM	y	Significant
125	18	ASH	y	Significant
126	14	ELM	y	Significant
127	20	ELM	y	Special
128	12	ELM	y	
129	13	ELM	y	Significant
130	13	ELM	y	Significant
131	21	BASSWOOD	y	Special
132	16	BASSWOOD	y	Significant

Tree Number	Diameter (Inches)	Species	Removed	Significant or Special
133	14	BASSWOOD	y	Significant
134	12	IRONWOOD	y	
135	13	ELM	y	Significant
136	14	ELM	y	Significant
137	11	BOX ELDER	y	
138	12	BOX ELDER	y	
139	12	BASSWOOD	y	
140	34	ASH	y	Special
141	18	BASSWOOD	y	Significant
142	26	BASSWOOD	y	Special
143	22	BASSWOOD	y	Significant
144	16	BASSWOOD	y	Significant
145	12	ELM	y	
146	13	ELM	y	Significant
147	10	IRONWOOD	y	
148	32	ASH	y	Special
149	21	ASH	y	Special
150	12	ELM	y	Special
151	20	ASH	y	Special
152	10	BASSWOOD	y	
153	15	IRONWOOD	y	Significant
154	17	ASH	y	
155	26	OAK	y	Special
156	10	OAK	y	
157	10	OAK	y	Significant
158	19	ELM	y	Significant
159	17	BASSWOOD	y	Significant
160	12	ELM	y	Special
161	12	ASH	y	
162	13	OAK	y	Significant
163	11	HACKBERRY	y	
164	14	ELM	y	Significant
165	15	MAPLE	y	Significant
166	11	OAK	y	
167	10	ASH	y	
168	11	ELM	y	
169	11	OAK	y	
170	13	ASH	y	Significant
171	16	ASH	y	Significant
172	10	ASH	y	
173	10	ASH	y	
174	13	ASH	y	Significant
175	11	ASH	y	
176	13	ASH	y	Significant

Tree Number	Diameter (Inches)	Species	Removed	Significant or Special
177	15	ASH	y	Significant
178	12	IRONWOOD	y	
179	14	ASH	y	Significant
180	14	ASH	y	Significant
181	12	ASH	y	
182	22	ELM	y	Special
183	10	IRONWOOD	y	
184	14	ASH	y	Significant
185	13	ASH	y	Significant
186	18	ASH	y	Significant
187	17	ASH	y	Significant
188	19	ASH	y	Significant
189	11	IRONWOOD	y	
190	20	ASH	y	Special
191	10	IRONWOOD	y	
192	11	ASH	y	
193	23	ASH	y	Special
194	20	IRONWOOD	y	Special
195	10	OAK	y	
196	13	ASH	y	Significant
197	10	ASH	y	
198	10	OAK	y	
199	13	ELM	y	Significant
200	13	OAK	y	Significant
201	10	OAK	y	
202	14	OAK	y	Significant
203	13	BOX ELDER	y	Significant
204	20	OAK	y	Special
205	15	ELM	y	Significant
206	17	BASSWOOD	y	Significant
207	11	ASH	y	Significant
208	27	ASH	y	Special
209	19	ELM	y	Significant
210	22	ASH	y	Special
211	10	BOX ELDER	y	
212	13	ELM	y	
213	10	IRONWOOD	y	Significant
214	14	ELM	y	
215	11	BOX ELDER	y	
216	14	OAK	y	Significant
217	18	ASH	y	Significant
218	12	ASH	y	Significant
219	28	ELM	y	Special
220	12	MAPLE	y	

Tree Number	Diameter (Inches)	Species	Removed	Significant or Special
221	16	ELM	y	Significant
222	14	ELM	y	
223	11	ELM	y	
224	20	ASH	y	Special
225	15	ASH	y	Significant
226	10	ASH	y	
227	26	ASH	y	Special
228	13	BOX ELDER	y	Significant
229	11	BIRCH	y	
230	12	BOX ELDER	y	Significant
231	16	BLACK CHERRY	y	Significant
232	15	ELM	y	Significant
233	10	ASH	y	
234	10	ASH	y	
235	10	ASH	y	
236	10	ASH	y	
237	10	ASH	y	
238	12	ELM	y	
239	11	ASH	y	
240	12	ASH	y	
241	11	ASH	y	
242	11	BOX ELDER	y	
243	11	ASH	y	
244	10	ASH	y	
245	10	MAPLE	y	
246	10	BOX ELDER	y	
247	10	BOX ELDER	y	
248	13	BASSWOOD	y	Special
249	10	BOX ELDER	y	
250	10	BOX ELDER	y	
251	10	BOX ELDER	y	
252	11	ASH	y	
253	11	ASH	y	
254	12	ASH	y	
255	11	ELM	y	
256	13	ELM	y	Significant
257	10	ELM	y	
258	12	ELM	y	
259	12	ASH	y	Special
260	14	BOX ELDER	y	Significant
261	11	ELM	y	
262	13	ASH	y	Significant
263	12	ELM	y	
264	10	ELM	y	

Tree Number	Diameter (Inches)	Species	Removed	Significant or Special
265	12	BOX ELDER	y	
266	11	ELM	y	
267	10	ELM	y	
268	11	ELM	y	
269	12	ELM	y	
270	10	ELM	y	
271	15	ELM	y	Significant
272	13	ELM	y	Significant
273	13	BOX ELDER	y	Significant
274	12	BOX ELDER	y	
275	16	BOX ELDER	y	Significant
276	11	BOX ELDER	y	
277	13	BOX ELDER	y	Significant
278	10	ASH	y	
279	13	ELM	y	Significant
280	11	ELM	y	
281	13	ELM	y	Significant
282	10	ASH	y	
283	10	ASH	y	
284	36	COTTONWOOD	y	Special
285	10	BOX ELDER	y	
286	14	BOX ELDER	y	Significant
287	10	BOX ELDER	y	
288	11	ASH	y	
289	11	ASH	y	
290	14	ASH	y	Significant
291	10	BOX ELDER	y	
292	10	ELM	y	
293	10	ELM	y	
294	11	ELM	y	
295	10	BOX ELDER	y	
296	10	BOX ELDER	y	
297	10	BOX ELDER	y	
298	15	ASH	y	Significant
299	12	ASH	y	
300	10	ELM	y	
301	10	BOX ELDER	y	
302	11	IRONWOOD	y	
303	12	ELM	y	
304	10	ASH	y	
305	18	ELM	y	Significant
306	13	ASH	y	Significant
307	12	ELM	y	
308	10	BOX ELDER	y	

Tree Number	Diameter (Inches)	Species	Removed	Significant or Special
309	10	ELM	y	
310	11	BOX ELDER	y	
311	19	HACKBERRY	y	Significant
312	10	BOX ELDER	y	
313	13	MAPLE	y	Significant
314	9	CEDAR	y	
315	10	BOX ELDER	y	
316	10	JUNIPER	y	
317	19	BOX ELDER	y	Significant
318	14	ELM	y	Significant
319	12	BOX ELDER	y	Significant
320	12	BOX ELDER	y	
321	12	BASSWOOD	y	
322	16	ELM	y	
323	10	ELM	y	
324	11	ELM	y	
325	18	WILLOW	y	
326	18	WILLOW	y	Significant
327	14	WILLOW	y	Significant
328	14	WILLOW	y	Significant
329	17	WILLOW	y	Significant
330	11	BOX ELDER	y	
331	14	ASH	y	Significant
332	16	WILLOW	y	Significant
333	10	ASH	y	
334	11	ASH	y	
335	12	ASH	y	
336	11	ASH	y	
337	10	ASH	y	
338	14	BOX ELDER	y	Significant
339	10	BOX ELDER	y	
340	11	BOX ELDER	y	
341	13	ASH	y	Significant
342	17	COTTONWOOD	y	Significant
343	11	COTTONWOOD	y	Special
344	18	WILLOW	y	Significant
345	20	WILLOW	y	Special
346	19	WILLOW	y	Significant
347	14	WILLOW	y	Significant
348	11	BOX ELDER	y	
349	15	WILLOW	y	Significant
350	12	BOX ELDER	y	
351	10	BOX ELDER	y	
352	11	BOX ELDER	y	



GENERAL NOTES

- FOR CONSTRUCTION STAKING AND SURVEYING SERVICES CONTACT LANDFORM PROFESSIONAL SERVICES AT 612.252.9070.
- OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WITHIN, OR USE OF, PUBLIC RIGHT-OF-WAY.
- THE DIGITAL FILE, WHICH CAN BE OBTAINED FROM THE ENGINEER, SHALL BE USED FOR STAKING. DISCREPANCIES BETWEEN THE DRAWINGS AND THE DIGITAL FILE SHALL BE REPORTED TO THE ENGINEER.
- DIMENSIONS SHOWN ARE TO FACE OF CURB AND EXTERIOR FACE OF BUILDING UNLESS NOTED OTHERWISE.
- DEVELOPMENT IDENTIFICATION SIGNS
- ALL AREAS OUTSIDE PROPOSED RIGHT-OF-WAY ARE SCHEMATIC AND SUBJECT TO CHANGE.
- BUFFER MARKERS TO BE INSTALLED IN ACCORDANCE WITH RPOCD RULES

AREA SUMMARY

EXISTING:			
PERVIOUS	5,165,802	S.F.	99.6%
IMPERVIOUS	22,700	S.F.	0.4%
TOTAL (119.11 Ac)	5,188,502	S.F.	100.0%
PHASE 1 PROPOSED (R.O.W.):			
PERVIOUS	116,519	S.F.	28.0%
IMPERVIOUS	300,033	S.F.	72.0%
TOTAL (9.56 Ac)	416,552	S.F.	100.0%
PHASE 1 PROPOSED (TOTAL):			
PERVIOUS	4,866,934	S.F.	93.8%
IMPERVIOUS	321,568	S.F.	6.2%
TOTAL (119.11 Ac)	5,188,502	S.F.	100.0%
ULTIMATE PROPOSED (R.O.W.):			
PERVIOUS	116,519	S.F.	28.0%
IMPERVIOUS	300,033	S.F.	72.0%
TOTAL (9.56 Ac)	416,552	S.F.	100.0%
ULTIMATE PROPOSED (TOTAL):			
PERVIOUS	2,411,370	S.F.	46.5%
IMPERVIOUS	2,777,132	S.F.	53.5%
TOTAL (119.11 Ac)	5,188,502	S.F.	100.0%

ZONING AND SETBACK SUMMARY

THE PROPERTY IS ZONED PUD - REGIONAL LIFESTYLE

BUILDING SETBACK INFORMATION IS AS FOLLOWS:
FRONT YARD = 5 FT.
REAR = 5 FT.
RESIDENTIAL = 30 FT.
PUD EXTERIOR = 30 FT.
BLUFF CREEK = 40 FT.

PARKING SETBACK INFORMATION IS AS FOLLOWS:
FRONT YARD = 10 FT.
REAR = 10 FT.
SIDE = 10 FT.
RESIDENTIAL = 20 FT.

LOT COVERAGE INFORMATION IS AS FOLLOWS:
LOT AREA MINIMUM = 10,000 S.F. = 0.23 ACRE
LOT WIDTH MINIMUM = 100 FT.
TOTAL SITE AREA = 5,221,537 S.F. = 119.87 ACRES

LEGEND

- GREEN SPACE (LANDSCAPE AREA)
- GREEN SPACE (WATERSHED WETLAND BUFFER AREA)
- GREEN SPACE (WETLAND AREA)

OWNER

LEVEL 7 DEVELOPMENT, LLC
4600 KINGS POINT RD
MINNETRISTA, MN 55331

MUNICIPALITY



PROJECT

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PROJECT MANAGER REVIEW

BY SES DATE 06.19.2020

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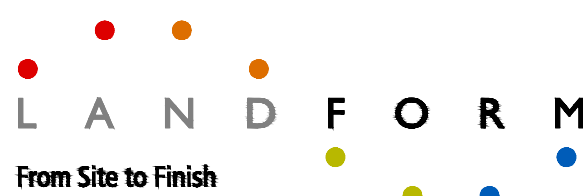
I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signature of Engineer: *SE [Signature]*
Name: Steven E. Sabers
License No.: 1778 Date: 06/27/2020

Signature shown is a digital signature of original. The digital copy of this plan on file at Landform Professional Services, LLC, Office is the master copy for all requests.

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WATERSHED SUBMITTAL
MAY 27, 2020



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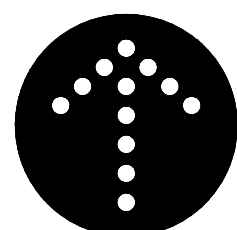
FILE NAME C200SCD001.DWG

PROJECT NO. SCD14001.LEV

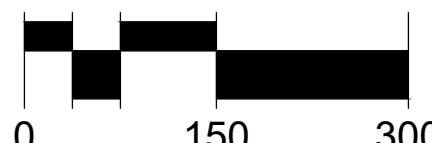
ULTIMATE
SITE PLAN
C2.0



Know what's Below.
Call before you dig.



NORTH





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SITE PLAN NOTES			
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PUD EXTERIOR = 30 FT.	
BLUFF CREEK = 40 FT.	
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	GREEN SPACE (WATERSHED WETLAND BUFFER AREA)
	GREEN SPACE (WETLAND AREA)

OWNER

LEVEL 7 DEVELOPMENT, LLC
4600 KINGS POINT RD
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MUNICIPALITY

PROJECT

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CONTACT ENGINEER FOR ANY PRIOR HISTORY		
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22 APR 2020	WATERSHED SUBMITTAL	SES
01 MAY 2020	CITY SUBMITTAL	SES
27 MAY 2020	WATERSHED SUBMITTAL	SES

PROJECT MANAGER REVIEW

BY SES DATE 05.19.2020

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signature shown is a digital signature of original. No other copy of this plan on file at Landform Professional Services, LLC. Office and drawings upon request.

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WATERSHED SUBMITTAL
MAY 27, 2020

105 South Fifth Avenue
Suite 513
Minneapolis, MN 55401

Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

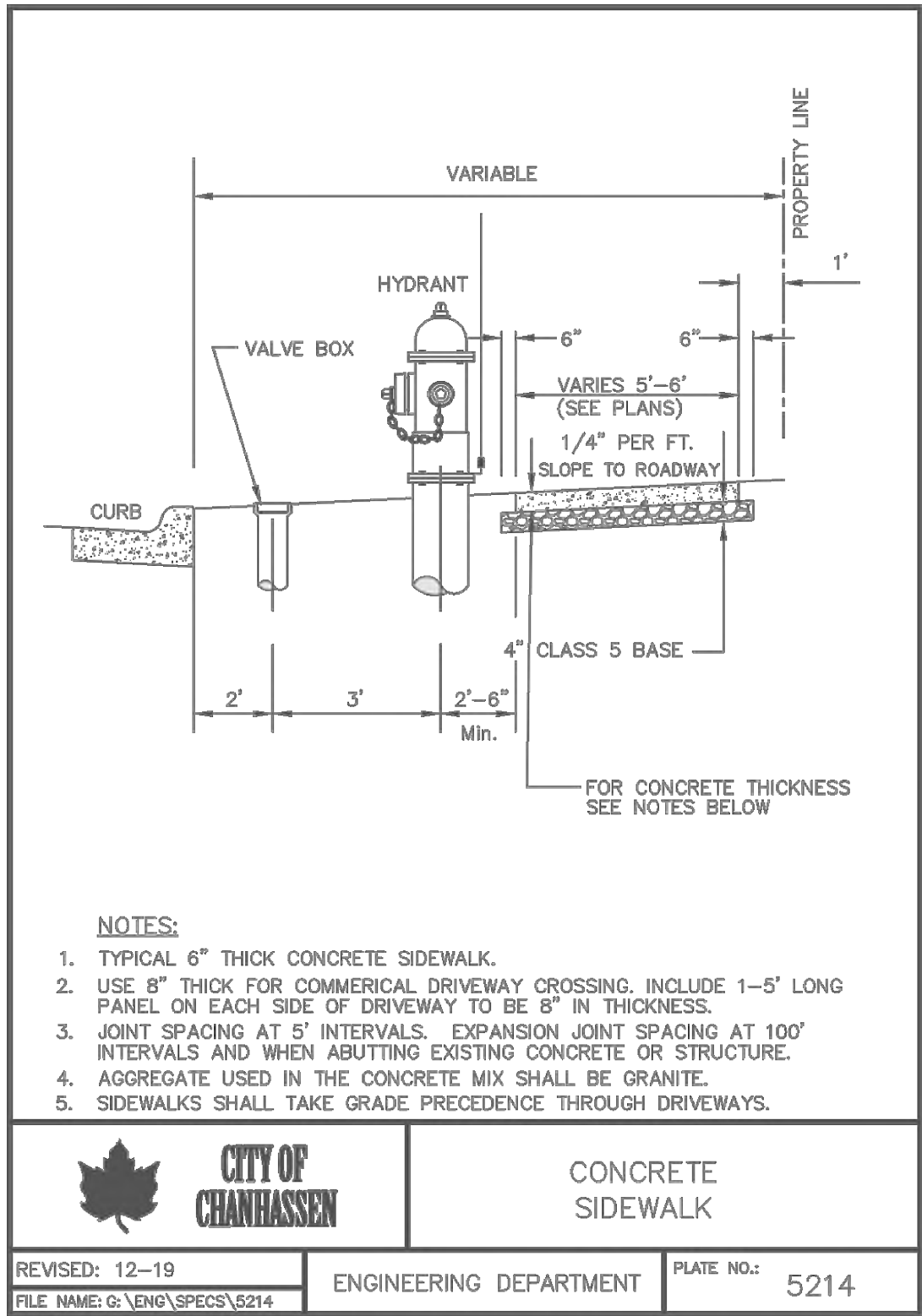
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PROJECT NO. SCD14001.LEV

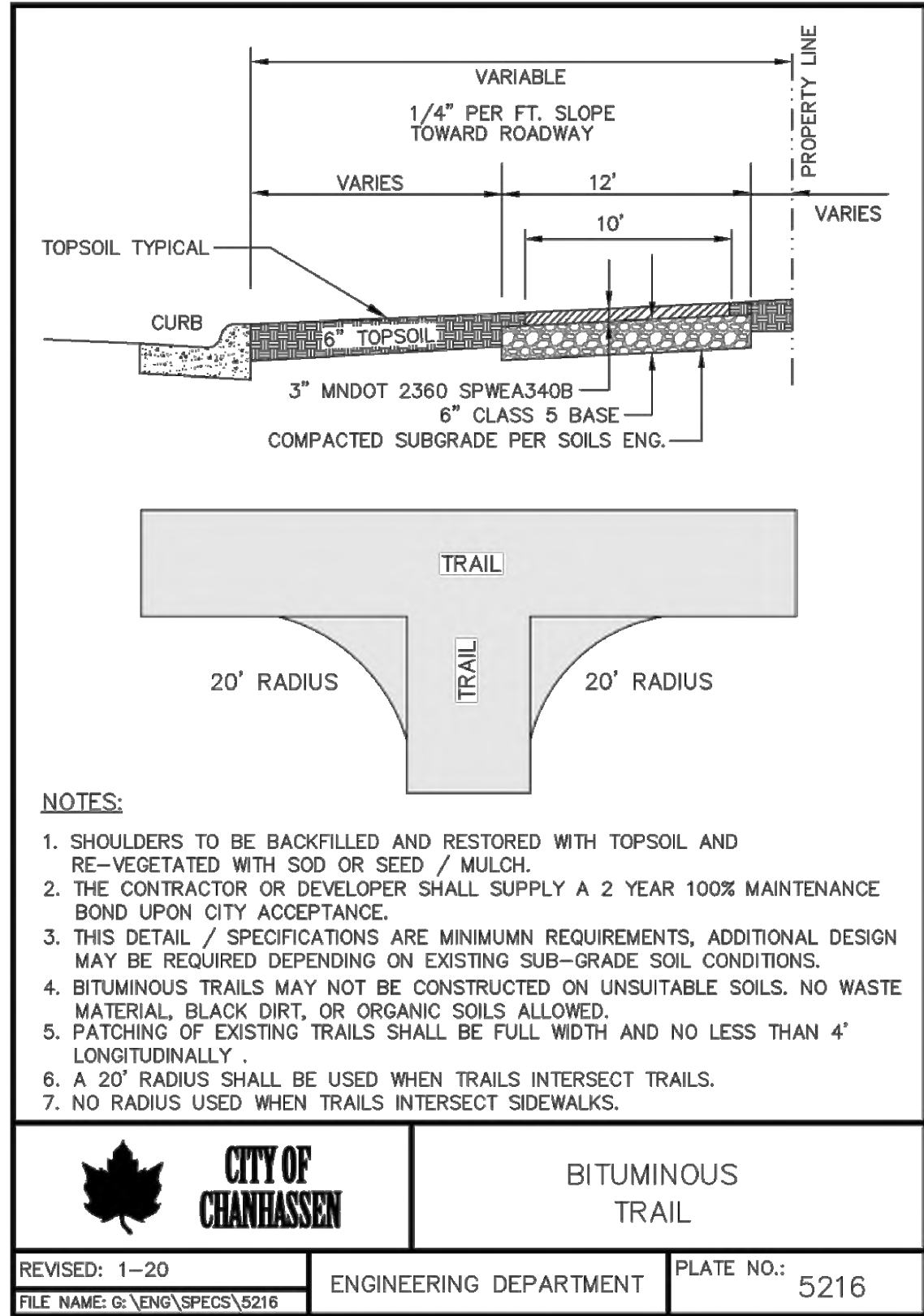
PHASE 1 OVERALL
SITE PLAN
C2.1

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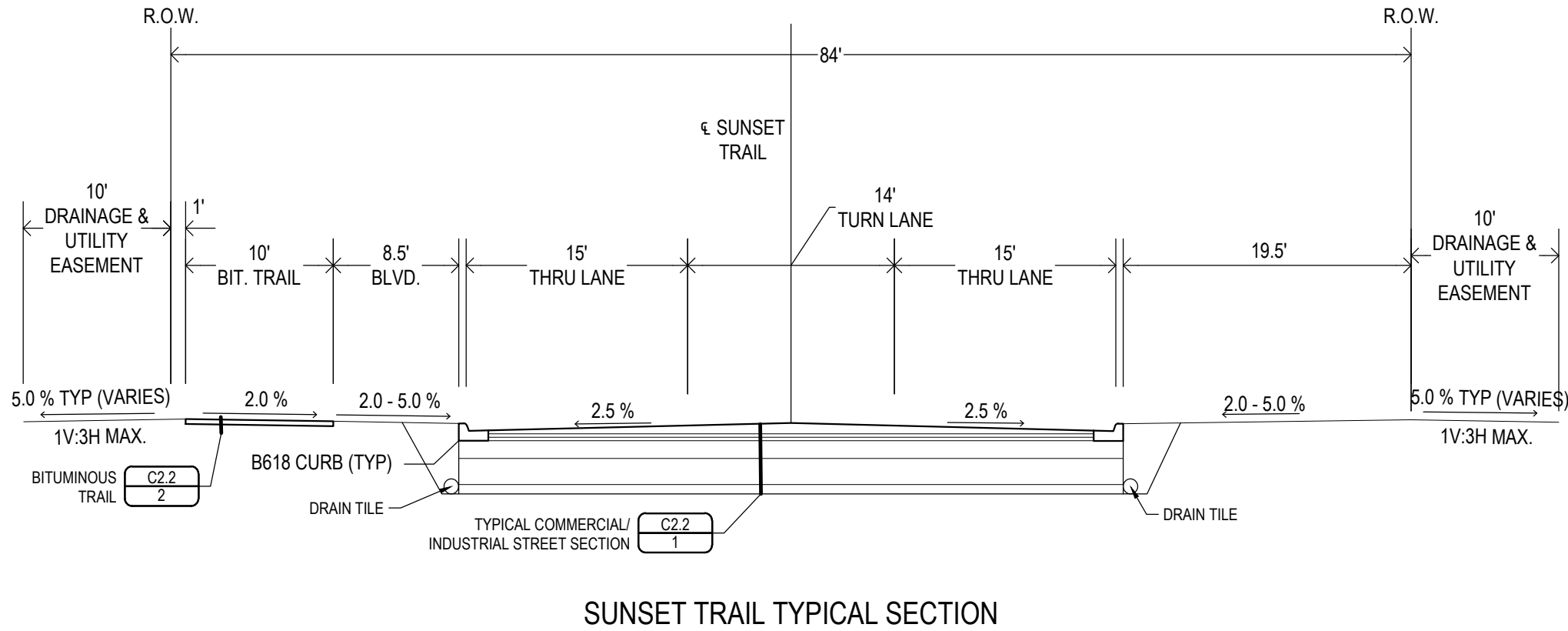
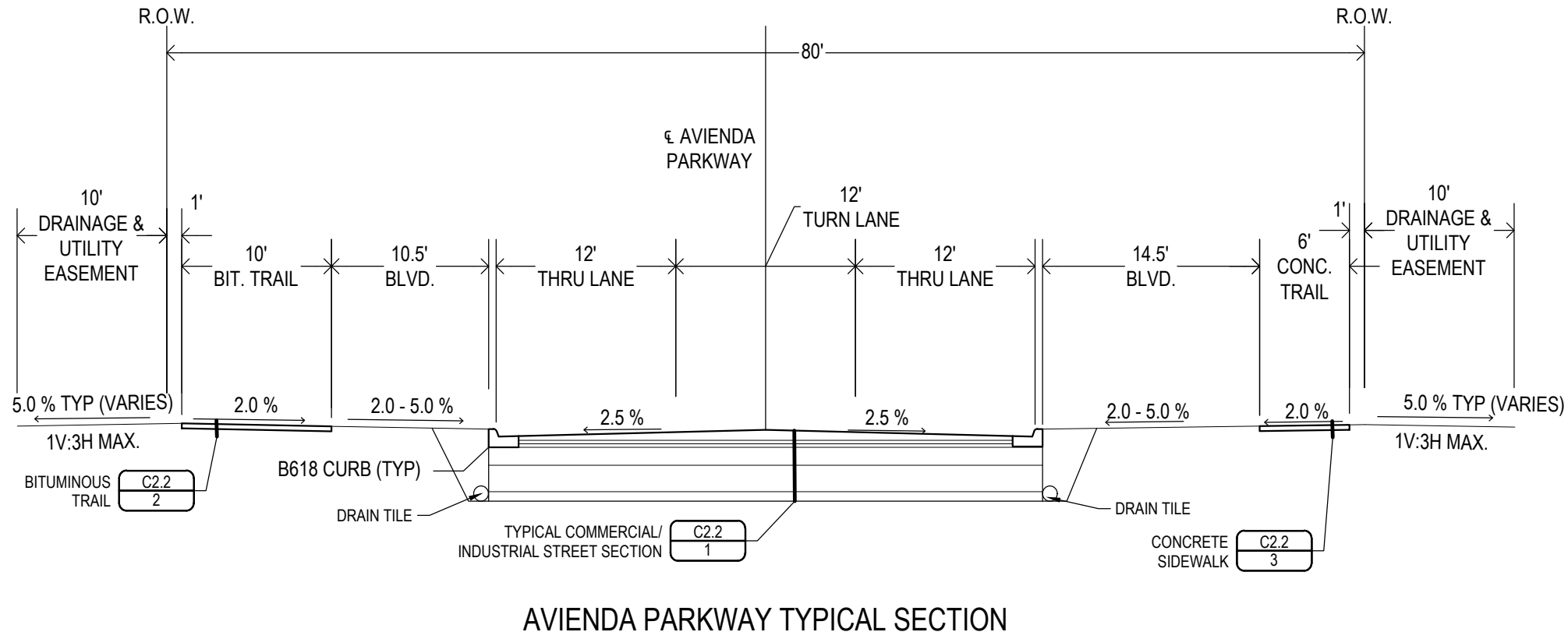
3 CONCRETE SIDEWALK NO SCALE



2 BITUMINOUS TRAIL NO SCALE



1 TYPICAL COMMERCIAL/INDUSTRIAL STREET SECTION NO SCALE



OWNER

LEVEL 7 DEVELOPMENT, LLC
4600 KINGS POINT RD
MINNETRISTA, MN 55331

MUNICIPALITY

PROJECT

AVIENDA

ISSUE / REVISION HISTORY		
CONTACT ENGINEER FOR ANY PRIOR HISTORY		
DATE	ISSUE / REVISION	REVIEW
22 APR 2020	WATERSHED SUBMITTAL	SES
01 MAY 2020	CITY SUBMITTAL	SES
27 MAY 2020	WATERSHED SUBMITTAL	SES

PROJECT MANAGER REVIEW

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

Signature
Steven E. Schmitt
License No. 17125 Date: 05/19/2020

Signature shown is a digital signature of original. We warrant a copy of this plan on file at Landform Professional Services, LLC office and available upon request.

CONSTRUCTION

IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

WATERSHED SUBMITTAL
MAY 27, 2020

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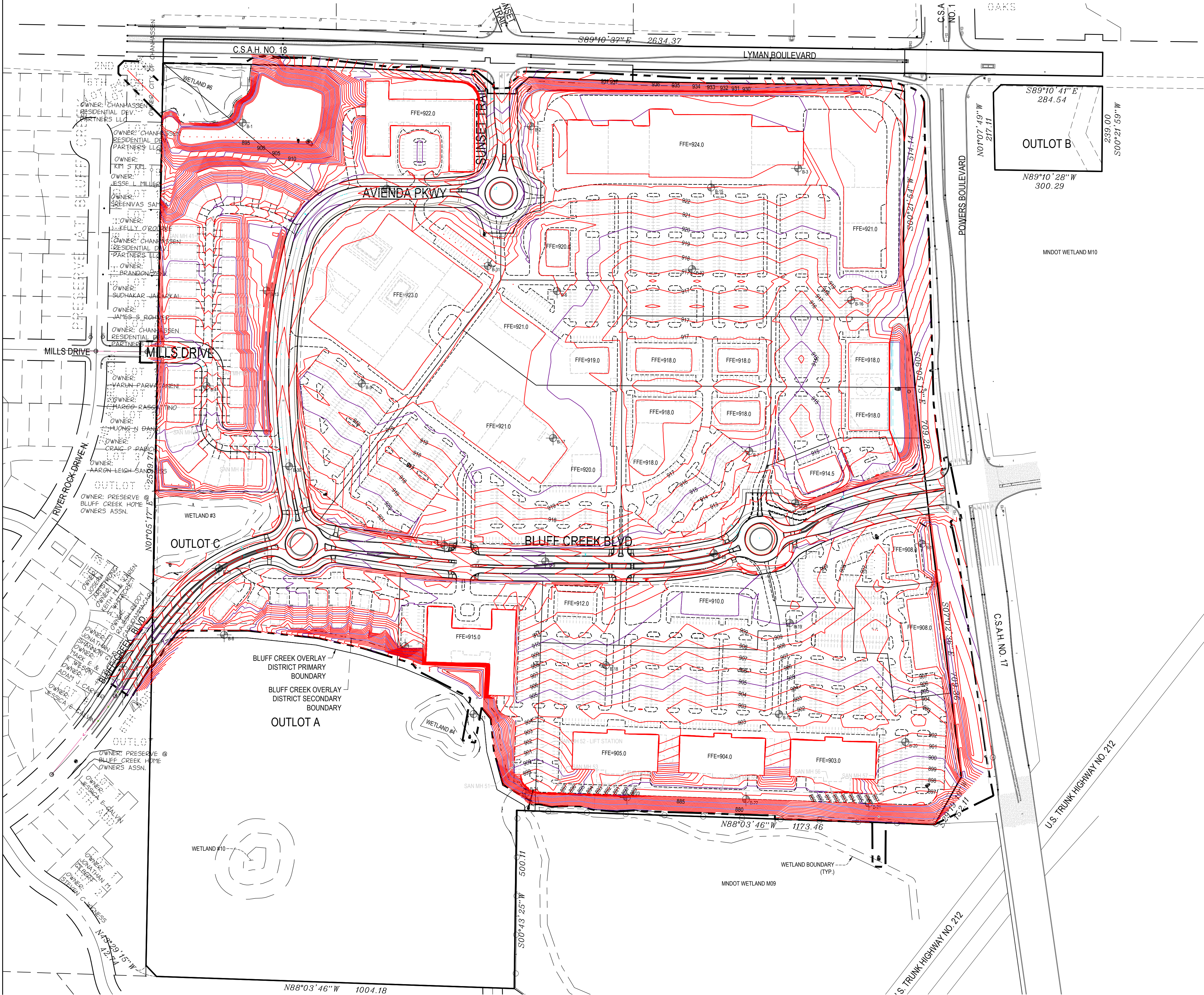
105 South Fifth Avenue Tel: 612-252-9070
Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

FILE NAME C202SCD001.DWG

PROJECT NO. SCD14001.LEV

TYPICAL STREET SECTIONS
C2.2





GENERAL NOTES

- FOR CONSTRUCTION STAKING AND SURVEYING SERVICES CONTACT LANDFORM PROFESSIONAL SERVICES AT 612.252.9070.
- INSTALL PERIMETER SEDIMENT CONTROLS PRIOR TO BEGINNING WORK AND MAINTAIN FOR DURATION OF CONSTRUCTION. REMOVE CONTROLS AFTER AREAS CONTRIBUTING RUNOFF ARE PERMANENTLY STABILIZED AND DISPOSE OF OFF SITE.
- LIMIT SOIL DISTURBANCE TO THE GRADING LIMITS SHOWN. SCHEDULE OPERATIONS TO MINIMIZE LENGTH OF EXPOSURE OF DISTURBED AREAS.
- MANAGEMENT PRACTICES SHOWN ARE THE MINIMUM REQUIREMENT. INSTALL AND MAINTAIN ADDITIONAL CONTROLS AS WORK PROCEEDS TO PREVENT EROSION AND CONTROL SEDIMENT CARRIED BY WIND OR WATER.
- REFER TO SWPPP NOTES ON SHEET C3.5 FOR ADDITIONAL REQUIREMENTS.
- EXCAVATE PONDS EARLY IN THE CONSTRUCTION SEQUENCE. REMOVE SEDIMENT FROM PONDS PERIODICALLY AND AFTER AREAS CONTRIBUTING RUNOFF ARE PERMANENTLY STABILIZED.
- CONTRACTOR SHALL PREVENT SEDIMENT LADEN WATER FROM ENTERING THE INFILTRATION SYSTEM UNTIL THE SITE IS COMPLETELY STABILIZED.
- ALL EXPOSED SOILS AREAS SHALL BE STABILIZED IMMEDIATELY TO LIMIT SOIL EROSION IN THAT PORTION OF THE SITE WHERE CONSTRUCTION HAS TEMPORARILY OR PERMANENTLY CEASED.
- SEED, SOD, MULCH AND FERTILIZER SHALL MEET THE FOLLOWING SPECIFICATIONS, AS MODIFIED:

ITEM	SPECIFICATION NUMBER
SEED	MINDOT 3878
SOD	MINDOT 3878
MULCH	MINDOT 3882
FERTILIZER	MINDOT 3881
GENERAL PLACEMENT	MINDOT 2575
- SEE LANDSCAPE SHEETS FOR PERMANENT TURF AND LANDSCAPE ESTABLISHMENT.
- SCRAPE ADJACENT STREETS CLEAN DAILY AND SWEEP CLEAN WEEKLY.

GRADING NOTES

- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING GRADING.
- REFER TO THE GEOTECHNICAL REPORT PREPARED BY BRAUN INTEREC, DATED APRIL 12, 2017, FOR ADDITIONAL INFORMATION ON BACKFILL MATERIAL AND GROUNDWATER CONDITIONS.
- REMOVE TOPSOIL FROM GRADING AREAS AND STOCKPILE SUFFICIENT QUANTITY FOR REUSE. EXCESS TOPSOIL SHALL BE EXPORTED FROM SITE.
- REMOVE SURFACE AND GROUND WATER FROM EXCAVATIONS. PROVIDE INITIAL LIFTS OF STABLE FOUNDATION MATERIAL IF EXPOSED SOILS ARE WET AND UNSTABLE.
- ROUGH GRADE BUILDING PADS TO 12 INCHES BELOW FINISHED FLOOR ELEVATION (FFE).
- AN INDEPENDENT TESTING FIRM SHALL VERIFY THE REMOVAL OF ORGANIC AND UNSUITABLE SOILS, SOIL CORRECTION, AND COMPACTION AND PROVIDE PERIODIC REPORTS TO THE OWNER.
- PLACE AND COMPACT FILL USING LIFT THICKNESSES MATCHED TO SOIL TYPE AND COMPACTION EQUIPMENT TO OBTAIN SPECIFIED COMPACTION THROUGHOUT THE LIFT.
- COORDINATE WITH ARCHITECTURAL FOR BUILDING STOOP LOCATIONS. SLOPES SHOWN ON ADJACENT WALKS AND PAVEMENTS SHOULD CONTINUE OVER STOOPS.
- AVOID SOIL COMPACTION OF INFILTRATION PRACTICES. ANY EQUIPMENT USED IN INFILTRATION AREAS SHOULD BE SMALL SCALED AND TRACKED.

PAVING NOTES

- SPOT ELEVATIONS AT CURBLINES INDICATE FLOWLINES UNLESS NOTED OTHERWISE. SEE SHEET C4.2 FOR RIM ELEVATIONS OF CATCH BASINS.
- GRADES BETWEEN PROPOSED SPOT ELEVATIONS SHALL BE CONTINUOUS AND NONVARIABLE. SPOT ELEVATIONS SHALL GOVERN OVER CONTOUR LINES.
- MEET AND MATCH EXISTING CURB. PROVIDE 10 FOOT TRANSITION.
- PAVING SECTIONS
 - BITUMINOUS PAVING
REFER TO CITY OF CHANHASSEN DETAIL PLATE NO. 5201
 - CONCRETE WALKWAYS
REFER TO CITY OF CHANHASSEN DETAIL PLATE NO. 5214
 - CONCRETE DRIVES, APRONS, AND EXTERIOR SLABS
REFER TO CITY OF CHANHASSEN DETAIL PLATE NO. 5207
 - BITUMINOUS WALKWAYS
REFER TO CITY OF CHANHASSEN DETAIL PLATE NO. 5216

NPDES AREA SUMMARY

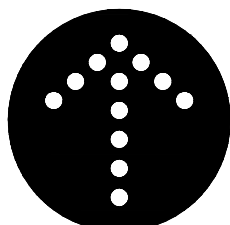
	EXISTING	PROPOSED
PERVIOUS	115.52 ACRES	51.77 ACRES
IMPERVIOUS	0.00 ACRES	63.75 ACRES
TOTAL	115.52 ACRES	115.52 ACRES

LEGEND

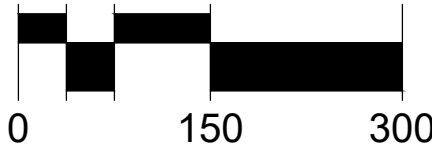
SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
	:INLET PROTECTION	146 EACH
	:SILT FENCE	13,144 FEET
	:VEHICLE TRACKING PAD	2 EACH
	:TIP OUT CURB	
	:PAVEMENT SAWCUT	
	:CONSTRUCTION LIMITS	



Know what's Below.
Call before you dig.



NORTH



OWNER

LEVEL 7 DEVELOPMENT, LLC

4600 KINGS POINT RD
MINNETRISTA, MN 55331

MUNICIPALITY



PROJECT

AVIENDA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
22 APR 2020	WATERSHED SUBMITTAL	SES
01 MAY 2020	CITY SUBMITTAL	SES
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PROJECT MANAGER REVIEW

BY SES DATE 05.19.2020

CERTIFICATION

PRELIMINARY
NOT FOR
CONSTRUCTION

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WATERSHED SUBMITTAL

MAY 27, 2020



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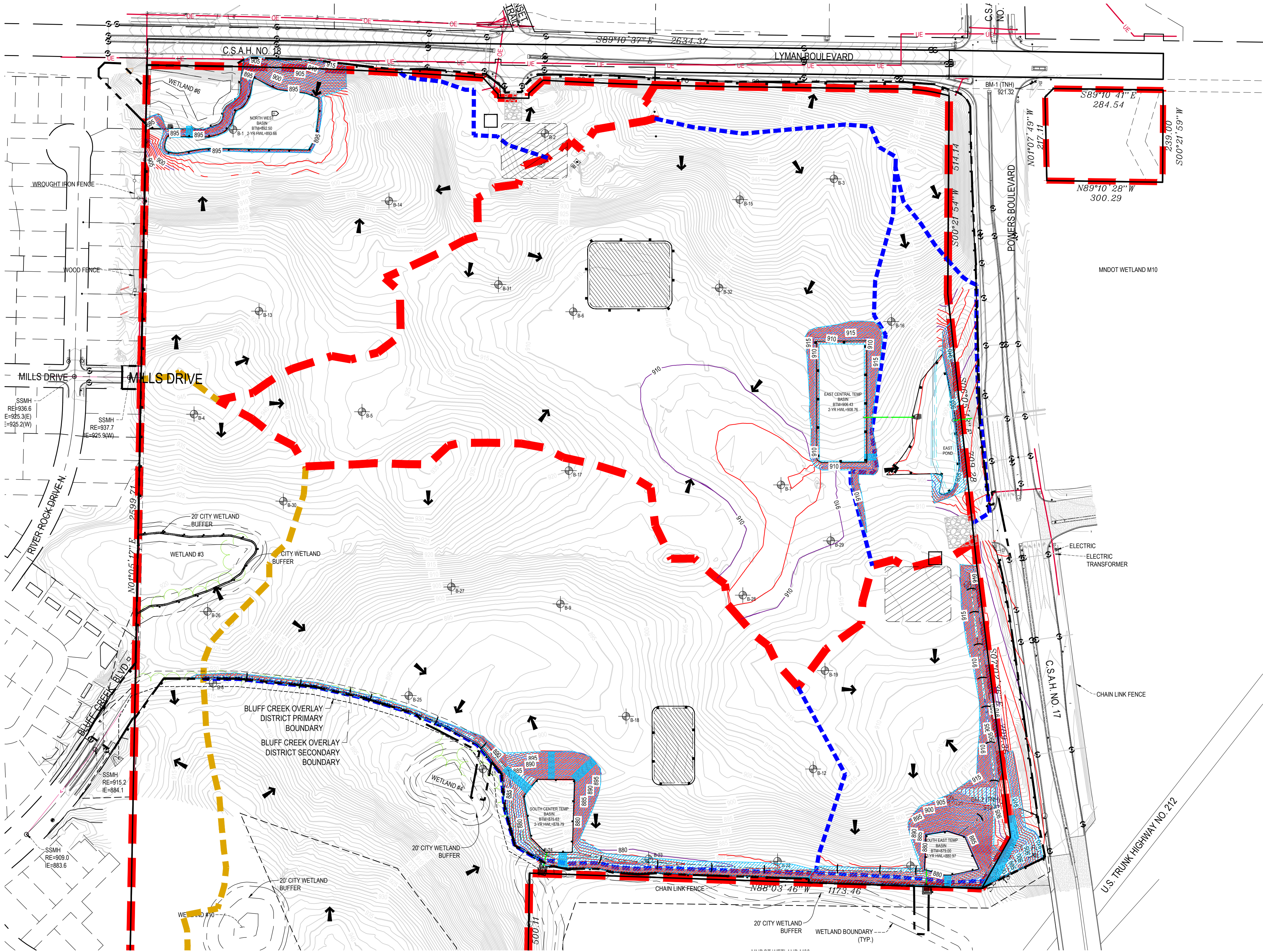
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Web: landform.net

FILE NAME C300SCD001.DWG

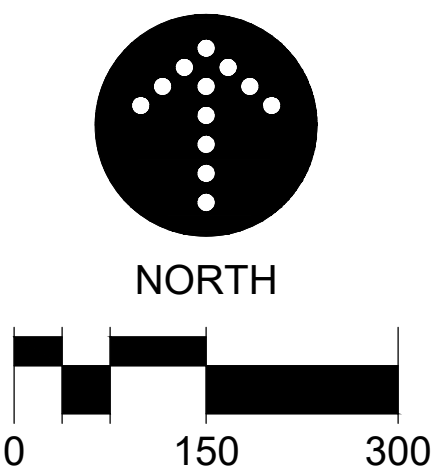
PROJECT NO. SCD14001.LEV

ULTIMATE GRADING,
PAVING, & DRAINAGE

C3.0



TEMPORARY SEDIMENTATION BASIN CALCULATIONS					
BASIN	DRAINAGE AREA (Ac)	REQUIRED VOLUME (CF)	PROVIDED VOLUME (CF)	BOTTOM ELEVATION	HIGH WATER ELEVATION
North West Basin	15.91	57,276	59,208	892.50	894.96
East Pond	5.26	18,936	202,366	904.00	904.92
East Central Temp Basin	29.73	107,028	268,247	906.43	910.87
South East Temp Basin	7.90	28,440	39,273	879.00	882.98
South Center Temp Basin	25.41	91,476	94,632	875.63	879.38



- GENERAL NOTES
1. FOR CONSTRUCTION STAKING AND SURVEYING SERVICES CONTACT LANDFORM AT 612.252.9070.
- EROSION PREVENTION AND SEDIMENT CONTROL NOTES
2. INSTALL PERIMETER SEDIMENT CONTROLS PRIOR TO BEGINNING WORK AND MAINTAIN FOR DURATION OF CONSTRUCTION. INSTALL POND / BASIN PROTECTION SEDIMENT CONTROLS WITHIN 7 DAYS OF COMPLETION OF BASIN GRADING. REMOVE PERIMETER CONTROLS AFTER AREAS CONTRIBUTING RUNOFF ARE PERMANENTLY STABILIZED AND DISPOSE OF OFF SITE.
3. LIMIT SOIL DISTURBANCE TO THE GRADING LIMITS SHOWN. SCHEDULE OPERATIONS TO MINIMIZE LENGTH OF EXPOSURE OF DISTURBED AREAS.
4. MANAGEMENT PRACTICES SHOWN ARE THE MINIMUM REQUIREMENT. INSTALL AND MAINTAIN ADDITIONAL CONTROLS AS WORK PROCEEDS TO PREVENT EROSION AND CONTROL SEDIMENT CARRIED BY WIND OR WATER.
5. REFER TO SWPPP NOTES ON SHEET C3.5 FOR ADDITIONAL REQUIREMENTS.
6. EXCAVATE TEMPORARY SEDIMENTATION BASINS EARLY IN THE CONSTRUCTION SEQUENCE. REMOVE SEDIMENT FROM BASINS PERIODICALLY AND AFTER AREAS CONTRIBUTING RUNOFF ARE PERMANENTLY STABILIZED.
7. ALL EXPOSED SOILS AREAS SHALL BE STABILIZED IMMEDIATELY TO LIMIT SOIL EROSION IN THAT PORTION OF THE SITE WHERE CONSTRUCTION HAS TEMPORARILY OR PERMANENTLY CEASED.
8. MASS-GRADING SEED, SOD, MULCH AND FERTILIZER SHALL MEET THE FOLLOWING SPECIFICATIONS, AS MODIFIED.
- | ITEM | SPECIFICATION NUMBER | ESTIMATED QUANTITY |
|--------------------------------------|---|--------------------|
| SOD | MNDOT 3876 | 0 S.Y. |
| SEED | MNDOT 3876 | 0 S.Y. |
| | MN TYPE 22-111 @ 30.5 LB/AC - TEMPORARY EROSION CONTROL | 2,840 S.Y. |
| | MN TYPE 25-141 @ 120 LB/AC - PERMANENT TURF | 11,160 LB. |
| | MN TYPE 33-261 @ 35 LB/AC - PERMANENT WETLAND BUFFER (IF DISTURBED) | 2.1 LB. |
| MULCH | MNDOT 3882 | 196 TON |
| | (MNDOT TYPE 1 @ 2 TON/AC, DISC ANCHORED) | |
| FERTILIZER (FOR PERMANENT TURF ONLY) | MNDOT 3881 | |
| GENERAL PLACEMENT | MNDOT 2575 | |
9. SEDIMENT ON PAVED SURFACES (E.G. TRACKED FROM VEHICLES) MUST BE REMOVED WITHIN ONE CALENDAR DAY OF DISCOVERY.

- GRADING NOTES
10. CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING GRADING.
11. REFER TO THE GEOTECHNICAL REPORT PREPARED BY BRAUN INTERTEC, DATED APRIL 12, 2017, FOR ADDITIONAL INFORMATION ON BACKFILL MATERIAL AND GROUNDWATER CONDITIONS.
12. REMOVE TOPSOIL FROM GRADING AREAS AND STOCKPILE SUFFICIENT QUANTITY FOR REUSE. MAINTAIN STOCKPILES WITH MAXIMUM 1V:2H SLOPES.
13. REMOVE SURFACE AND GROUND WATER FROM EXCAVATIONS. PROVIDE INITIAL LIFTS OF STABLE FOUNDATION MATERIAL IF EXPOSED SOILS ARE WET AND UNSTABLE.
14. AN INDEPENDENT TESTING FIRM SHALL VERIFY THE REMOVAL OF ORGANIC AND UNSUITABLE SOILS, SOIL CORRECTION, AND COMPACTION AND PROVIDE PERIODIC REPORTS TO THE OWNER.
15. PLACE AND COMPACT FILL USING LIFT THICKNESSES MATCHED TO SOIL TYPE AND COMPACTION EQUIPMENT TO OBTAIN SPECIFIED COMPACTION THROUGHOUT THE LIFT.
16. COMPACT COHESIVE SOILS IN PAVED AREAS TO 95% OF MAXIMUM DRY DENSITY, STANDARD PROCTOR (ASTM D698) EXCEPT THE TOP 3 FEET WHICH SHALL BE COMPACTED TO 100%. COMPACT TO 98% DENSITY WHERE FILL DEPTH EXCEEDS 10 FEET. THE SOILS SHALL BE WITHIN 3% OF OPTIMUM MOISTURE CONTENT. IN GRANULAR SOILS ALL PORTIONS OF THE EMBANKMENT SHALL BE COMPACTED TO NOT LESS THAN 95% OF MODIFIED PROCTOR DENSITY (ASTM D1557).
17. ALL DISTURBED SOIL SURFACE AREAS SHALL BE DECOMPACTED TO A DEPTH OF 18-INCHES AND COVERED WITH SIX INCHES OF TOPSOIL. REFER TO RPB/CWD STANDARD EROSION CONTROL NOTES FOR ADDITIONAL REQUIREMENTS.
18. SLOPE CALLOUTS ARE VERTICAL-HORIZONTAL (V:H)
19. NO CONSTRUCTION EXIT OR ENTRANCE TO THE SITE WILL BE ALLOWED AT MILLS DRIVE OR BLUFF CREEK BOULEVARD.

- RPB/CWD STANDARD EROSION CONTROL NOTES (CONT.)
20. NATURAL TOPOGRAPHY AND SOIL CONDITIONS MUST BE PROTECTED, INCLUDING RETENTION ONSITE OF NATIVE TOPSOIL TO THE GREATEST EXTENT POSSIBLE.
21. ADDITIONAL MEASURES, SUCH AS HYDRAULIC MULCHING AND OTHER PRACTICES AS SPECIFIED BY THE DISTRICT MUST BE USED ON SLOPES OF 3:1 (H:V) OR STEEPER TO PROVIDE ADEQUATE STABILIZATION.
22. FINAL SITE STABILIZATION MEASURES MUST SPECIFY THAT AT LEAST SIX INCHES OF TOPSOIL OR ORGANIC MATTER BE SPREAD AND INCORPORATED INTO THE UNDERLYING SOIL DURING FINAL SITE TREATMENT WHEREVER TOPSOIL HAS BEEN REMOVED.
23. CONSTRUCTION SITE WASTE SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, LITTER AND SANITARY WASTE MUST BE PROPERLY MANAGED.
24. ALL TEMPORARY EROSION AND SEDIMENT CONTROL BMPs MUST BE MAINTAINED UNTIL COMPLETION OF CONSTRUCTION AND VEGETATION IS ESTABLISHED SUFFICIENTLY TO ENSURE STABILITY OF THE SITE, AS DETERMINED BY THE DISTRICT.
25. ALL TEMPORARY EROSION AND SEDIMENT CONTROL BMPs MUST BE REMOVED UPON FINAL STABILIZATION.
26. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN 7 CALENDAR DAYS AFTER LAND-DISTURBING WORK HAS TEMPORARILY OR PERMANENTLY CEASED ON A PROPERTY THAT DRAINS TO AN IMPAIRED WATER.
27. SOIL SURFACES COMPACTED DURING CONSTRUCTION AND REMAINING PERVIOUS UPON COMPLETION OF CONSTRUCTION MUST BE DECOMPACTED TO ACHIEVE:
A) A SOIL COMPACTION TESTING PRESSURE OF LESS THAN 1,400 KILOPASCALS OR 200 POUNDS PER SQUARE INCH IN THE UPPER 12 INCHES OF SOIL OR
B) A BULK DENSITY OF LESS THAN 1.4 GRAMS PER CUBIC CENTIMETER OR 87 POUNDS PER CUBIC FOOT IN THE UPPER 12 INCHES OF SOIL
IN ADDITION, UTILITIES, TREE ROOTS AND OTHER EXISTING VEGETATION MUST BE PROTECTED UNTIL FINAL REVEGETATION OR OTHER STABILIZATION OF THE SITE. REFER TO SHEET C3.6 FOR DECOMPACTION AREAS.
28. THE PERMITTEE MUST INSPECT ALL EROSION PREVENTION AND SEDIMENT CONTROL FACILITIES AND SOIL STABILIZATION MEASURES TO ENSURE INTEGRITY AND EFFECTIVENESS. THE PERMITTEE MUST REPAIR, REPLACE, OR SUPPLEMENT ALL NONFUNCTIONAL BMPs WITHIN 48 HOURS OF DISCOVERY AND PRIOR TO THE NEXT PRECIPITATION EVENT UNLESS ADVERSE CONDITIONS PRECLUDE ACCESS TO THE RELEVANT AREA OF THE SITE, IN WHICH CASE THE REPAIR MUST BE COMPLETED AS SOON AS CONDITIONS ALLOW. WHEN ACTIVE LAND-DISTURBING ACTIVITIES ARE NOT UNDERWAY, THE PERMITTEE MUST PERFORM THESE RESPONSIBILITIES AT LEAST WEEKLY UNTIL VEGETATIVE COVER IS ESTABLISHED. THE PERMITTEE WILL MAINTAIN A LOG OF ACTIVITIES UNDER THIS SECTION FOR INSPECTION BY THE DISTRICT ON REQUEST.
29. ACTIVITIES MUST BE CONDUCTED SO AS TO MINIMIZE THE POTENTIAL TRANSFER OF AQUATIC INVASIVE SPECIES (E.G. ZEBRA MUSSELS, EURASIAN WATERMILFOIL, ETC.) TO THE MAXIMUM EXTENT POSSIBLE.
30. STAKING OFF AND MARKING OF PROPOSED INFILTRATION FACILITIES TO PREVENT SOIL COMPACTION BY HEAVY EQUIPMENT, STOCKPILING OF MATERIALS, AND TRAFFIC. IF INFILTRATION FACILITIES ARE IN PLACE DURING CONSTRUCTION ACTIVITIES, BEST PRACTICES MUST BE DEPLOYED TO PREVENT SEDIMENT AND OTHER MATERIAL FROM ENTERING THE PRACTICE(S). INFILTRATION FACILITIES MUST NOT BE EXCAVATED TO WITHIN 3 FEET OF FINAL GRADE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN CONSTRUCTED AND FULLY STABILIZED. ANY ACCUMULATED SEDIMENT IN AN INFILTRATION FACILITY MUST BE REMOVED IN MANNER THAT PREVENTS COMPACTION OF THE FACILITY BOTTOM. TO PROVIDE A WELL-AERATED, HIGHLY POROUS SURFACE, THE SOILS BELOW AN INFILTRATION PRACTICE MUST BE LOOSENED TO A MINIMUM DEPTH OF 18 INCHES PRIOR TO INSTALLATION OR PLANTING.

LEGEND		
SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
	INLET PROTECTION	69 EACH
	SILT FENCE	14,100 FEET
	VEHICLE TRACKING PAD	2 EACH
	EROSION CONTROL BLANKET (MNDOT CATEGORY 4N OR 4P)	254,600 S.F.
	ENKAMAT 7010 OR EQUAL	10,469 S.F.
	CONCRETE WASHOUT	
	DRAINAGE SWALE	
	CONSTRUCTION LIMITS	

OWNER

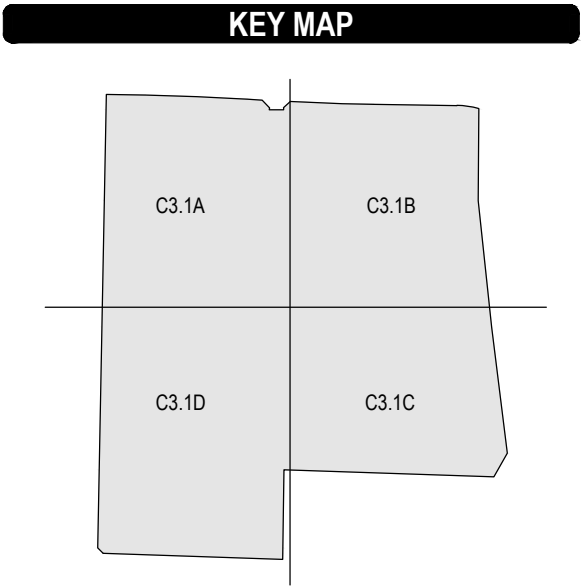
LEVEL 7 DEVELOPMENT, LLC

4600 KINGS POINT RD
MINNETRISTA, MN 55331

MUNICIPALITY

PROJECT

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PROJECT MANAGER REVIEW

BY SES DATE 05.19.2020

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

Steven E. Sabers License # 17785 Date: 05/27/2020

Signature shown is a digital signature of original and is a true copy of this plan on file at Landform Professional Services, LLC office and is available upon request.

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WATERSHED SUBMITTAL
MAY 27, 2020

LANDFORM

From Site to Finish

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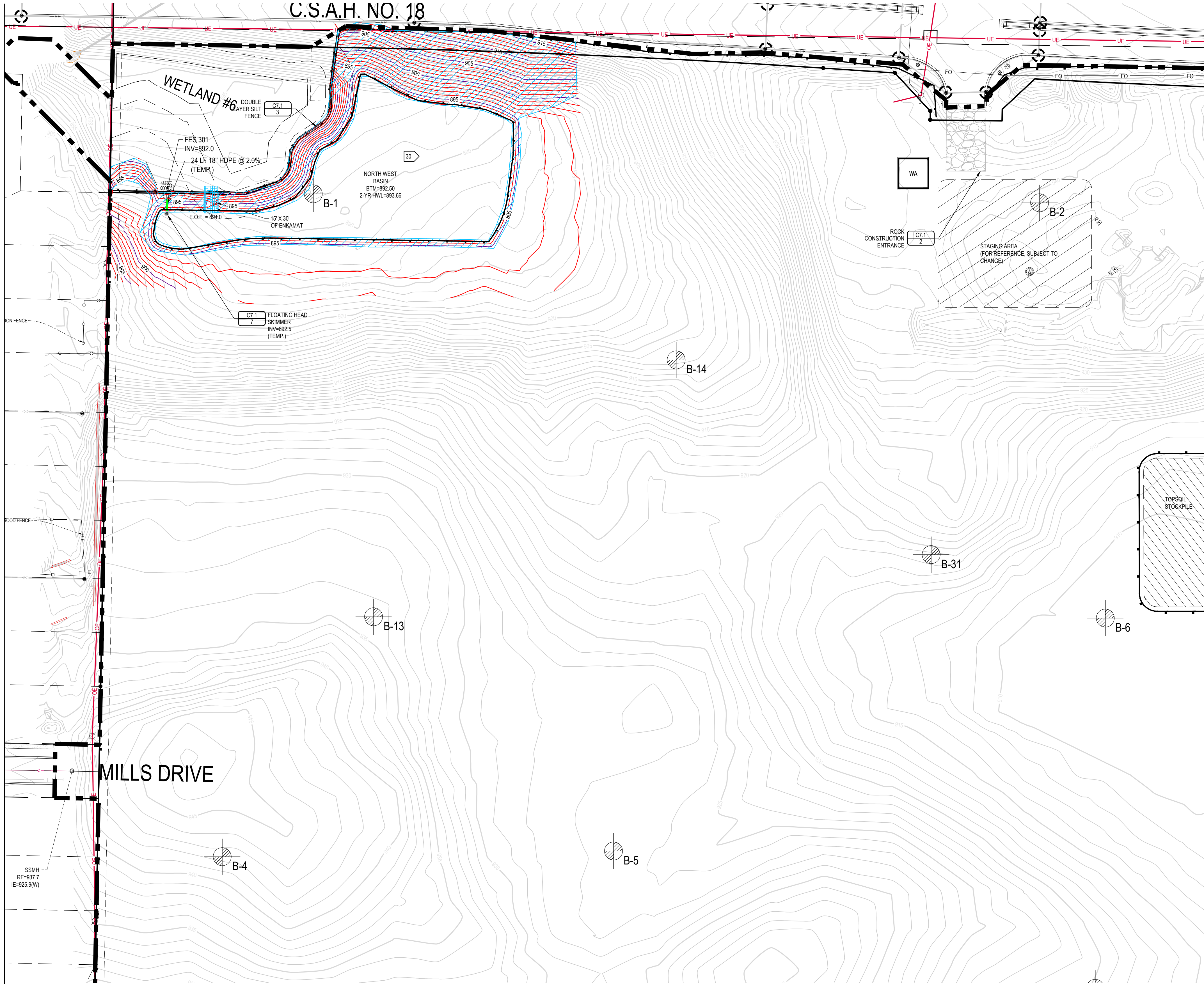
FILE NAME C301SCD001.DWG

PROJECT NO. SCD14001.LEV

CONSTRUCTION GRADING, DRAINAGE, & EROSION CONTROL

C3.1

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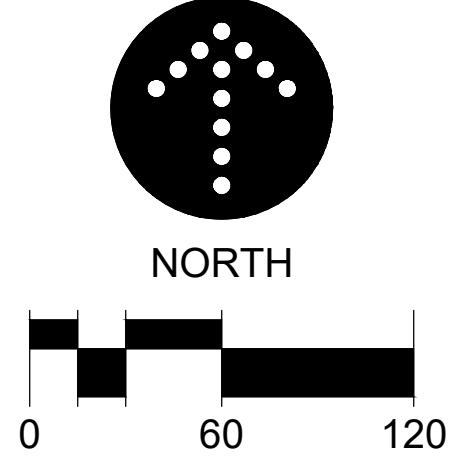


- GENERAL NOTES**
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 - INSTALL PERIMETER SEDIMENT CONTROLS PRIOR TO BEGINNING WORK AND MAINTAIN FOR DURATION OF CONSTRUCTION. INSTALL POND / BASIN PROTECTION SEDIMENT CONTROLS WITHIN 7 DAYS OF COMPLETION OF BASIN GRADING. REMOVE PERIMETER CONTROLS AFTER AREAS CONTRIBUTING RUNOFF ARE PERMANENTLY STABILIZED AND DISPOSE OF OFF SITE.
 - LIMIT SOIL DISTURBANCE TO THE GRADING LIMITS SHOWN. SCHEDULE OPERATIONS TO MINIMIZE LENGTH OF EXPOSURE OF DISTURBED AREAS.
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 - MASS-GRADING SEED, SOD, MULCH AND FERTILIZER SHALL MEET THE FOLLOWING SPECIFICATIONS, AS MODIFIED.
- | ITEM | SOD | MULCH | FERTILIZER |
|------|--|---|--|
| SEED | MIN TYPE 22-111 @ 30.5 LB/AC - TEMPORARY EROSION CONTROL
MIN TYPE 25-141 @ 120 LB/AC - PERMANENT TURF
MIN TYPE 33-261 @ 35 LB/AC - PERMANENT WETLAND BUFFER (IF DISTURBED) | (MNDOT TYPE 1 @ 2 TON/AC, DISC ANCHORED)
FERTILIZER (FOR PERMANENT TURF ONLY)
GENERAL PLACEMENT | 2,840 S.Y.
11,160 LB.
2.1 LB.
196 TON |
- SEED: MNDOT 3876
MULCH: MNDOT 3882
FERTILIZER: MNDOT 3881
GENERAL PLACEMENT: MNDOT 2575
- SEDIMENT ON PAVED SURFACES (E.G. TRACKED FROM VEHICLES) MUST BE REMOVED WITHIN ONE CALENDAR DAY OF DISCOVERY.

- GRADING NOTES**
- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING GRADING.
 - REFER TO THE GEOTECHNICAL REPORT PREPARED BY BRAUN INTERTEC, DATED APRIL 12, 2017, FOR ADDITIONAL INFORMATION ON BACKFILL MATERIAL AND GROUNDWATER CONDITIONS.
 - REMOVE TOPSOIL FROM GRADING AREAS AND STOCKPILE SUFFICIENT QUANTITY FOR REUSE. MAINTAIN STOCKPILES WITH MAXIMUM 1V:2H SLOPES.
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 - PLACE AND COMPACT FILL USING LIFT THICKNESSES MATCHED TO SOIL TYPE AND COMPACTION EQUIPMENT TO OBTAIN SPECIFIED COMPACTION THROUGHOUT THE LIFT.
 - COMPACT COHESIVE SOILS IN PAVED AREAS TO 95% OF MAXIMUM DRY DENSITY, STANDARD PROCTOR (ASTM D698) EXCEPT THE TOP 3 FEET WHICH SHALL BE COMPACTED TO 100%. COMPACT TO 98% DENSITY WHERE FILL DEPTH EXCEEDS 10 FEET. THE SOILS SHALL BE WITHIN 3% OF OPTIMUM MOISTURE CONTENT. IN GRANULAR SOILS ALL PORTIONS OF THE EMBANKMENT SHALL BE COMPACTED TO NOT LESS THAN 95% OF MODIFIED PROCTOR DENSITY (ASTM D1557).
 - ALL DISTURBED SOIL SURFACE AREAS SHALL BE DECOMPACTED TO A DEPTH OF 18-INCHES AND COVERED WITH SIX INCHES OF TOPSOIL. REFER TO RPB/CWD STANDARD EROSION CONTROL NOTES FOR ADDITIONAL REQUIREMENTS.
 - SLOPE CALLOUTS ARE VERTICAL: HORIZONTAL (V:H)
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- RPB/CWD STANDARD EROSION CONTROL NOTES (CONT.)**
- NATURAL TOPOGRAPHY AND SOIL CONDITIONS MUST BE PROTECTED, INCLUDING RETENTION ON SITE OF NATIVE TOPSOIL TO THE GREATEST EXTENT POSSIBLE.
 - ADDITIONAL MEASURES, SUCH AS HYDRAULIC MULCHING AND OTHER PRACTICES AS SPECIFIED BY THE DISTRICT MUST BE USED ON SLOPES OF 3:1 (H:V) OR STEEPER TO PROVIDE ADEQUATE STABILIZATION.
 - FINAL SITE STABILIZATION MEASURES MUST SPECIFY THAT AT LEAST SIX INCHES OF TOPSOIL OR ORGANIC MATTER BE SPREAD AND INCORPORATED INTO THE UNDERLYING SOIL DURING FINAL SITE TREATMENT WHEREVER TOPSOIL HAS BEEN REMOVED.
 - CONSTRUCTION SITE WASTE SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, LITTER AND SANITARY WASTE MUST BE PROPERLY MANAGED.
 - ALL TEMPORARY EROSION AND SEDIMENT CONTROL BMPs MUST BE MAINTAINED UNTIL COMPLETION OF CONSTRUCTION AND VEGETATION IS ESTABLISHED SUFFICIENTLY TO ENSURE STABILITY OF THE SITE, AS DETERMINED BY THE DISTRICT.
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 - SOIL SURFACES COMPACTED DURING CONSTRUCTION AND REMAINING PERVIOUS UPON COMPLETION OF CONSTRUCTION MUST BE DECOMPACTED TO ACHIEVE:
 - A) A SOIL COMPACTION TESTING PRESSURE OF LESS THAN 1,400 KILOPASCALS OR 200 POUNDS PER SQUARE INCH IN THE UPPER 12 INCHES OF SOIL OR
 - B) A BULK DENSITY OF LESS THAN 1.4 GRAMS PER CUBIC CENTIMETER OR 87 POUNDS PER CUBIC FOOT IN THE UPPER 12 INCHES OF SOILIN ADDITION, UTILITIES, TREE ROOTS AND OTHER EXISTING VEGETATION MUST BE PROTECTED UNTIL FINAL REVEGETATION OR OTHER STABILIZATION OF THE SITE. REFER TO SHEET C3.6 FOR DECOMPACTION AREAS.
 - THE PERMITTEE MUST INSPECT ALL EROSION PREVENTION AND SEDIMENT CONTROL FACILITIES AND SOIL STABILIZATION MEASURES TO ENSURE INTEGRITY AND EFFECTIVENESS. THE PERMITTEE MUST REPAIR, REPLACE OR SUPPLEMENT ALL NON-FUNCTIONAL BMPs WITHIN 48 HOURS OF DISCOVERY AND PRIOR TO THE NEXT PRECIPITATION EVENT UNLESS ADVERSE CONDITIONS PRECLUDE ACCESS TO THE RELEVANT AREA OF THE SITE. IN WHICH CASE THE REPAIR MUST BE COMPLETED AS SOON AS CONDITIONS ALLOW. WHEN ACTIVE LAND-DISTURBING ACTIVITIES ARE NOT UNDERWAY, THE PERMITTEE MUST PERFORM THESE RESPONSIBILITIES AT LEAST WEEKLY UNTIL VEGETATIVE COVER IS ESTABLISHED. THE PERMITTEE WILL MAINTAIN A LOG OF ACTIVITIES UNDER THIS SECTION FOR INSPECTION BY THE DISTRICT ON REQUEST.
 - ACTIVITIES MUST BE CONDUCTED SO AS TO MINIMIZE THE POTENTIAL TRANSFER OF AQUATIC INVASIVE SPECIES (E.G. ZEBRA MUSSELS, EURASIAN WATERMILFOL, ETC.) TO THE MAXIMUM EXTENT POSSIBLE.
 - STAKING OFF AND MARKING OF PROPOSED INFILTRATION FACILITIES TO PREVENT SOIL COMPACTION BY HEAVY EQUIPMENT, STOCKPILING OF MATERIALS, AND TRAFFIC. IF INFILTRATION FACILITIES ARE IN PLACE DURING CONSTRUCTION ACTIVITIES, BEST PRACTICES MUST BE DEPLOYED TO PREVENT SEDIMENT AND OTHER MATERIAL FROM ENTERING THE PRACTICE(S). INFILTRATION FACILITIES MUST NOT BE EXCAVATED TO WITHIN 3 FEET OF FINAL GRADE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN CONSTRUCTED AND FULLY STABILIZED. ANY ACCUMULATED SEDIMENT IN AN INFILTRATION FACILITY MUST BE REMOVED IN MANNER THAT PREVENTS COMPACTION OF THE FACILITY BOTTOM. TO PROVIDE A WELL-AERATED, HIGHLY POROUS SURFACE, THE SOILS BELOW AN INFILTRATION PRACTICE MUST BE LOOSENEED TO A MINIMUM DEPTH OF 18 INCHES PRIOR TO INSTALLATION OR PLANTING.

LEGEND		
SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
	INLET PROTECTION	69 EACH
	SILT FENCE	14,100 FEET
	VEHICLE TRACKING PAD	2 EACH
	EROSION CONTROL BLANKET (MNDOT CATEGORY 4N OR 4P)	254,600 S.F.
	ENKAMAT 7010 OR EQUAL	10,469 S.F.
	CONCRETE WASHOUT	
	DRAINAGE SWALE	
	CONSTRUCTION LIMITS	



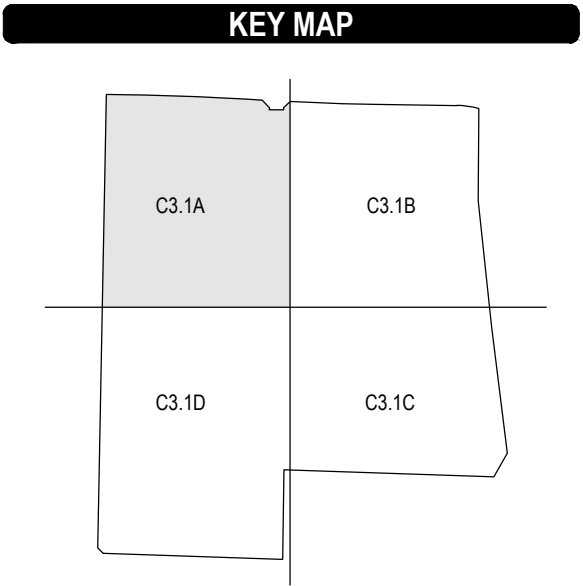
OWNER

LEVEL 7 DEVELOPMENT, LLC
4600 KINGS POINT RD
MINNETRISTA, MN 55331

MUNICIPALITY

PROJECT

AVIENDA



ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
22 APR 2020	WATERSHED SUBMITTAL	SES
01 MAY 2020	CITY SUBMITTAL	SES
27 MAY 2020	WATERSHED SUBMITTAL	SES

PROJECT MANAGER REVIEW

BY SES	DATE 06.19.2020
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CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Steven E. Sabatini, P.E. Date: 06/27/2020
License No. 147185

Signature shown is a digital signature of original and is a true copy of this plan on file at Landform Professional Services, LLC office and is available upon request.

PRELIMINARY - NOT FOR CONSTRUCTION

IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

WATERSHED SUBMITTAL
MAY 27, 2020

LANDFORM
From Site to Finish

105 South Fifth Avenue Suite 513
Minneapolis, MN 55401

Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

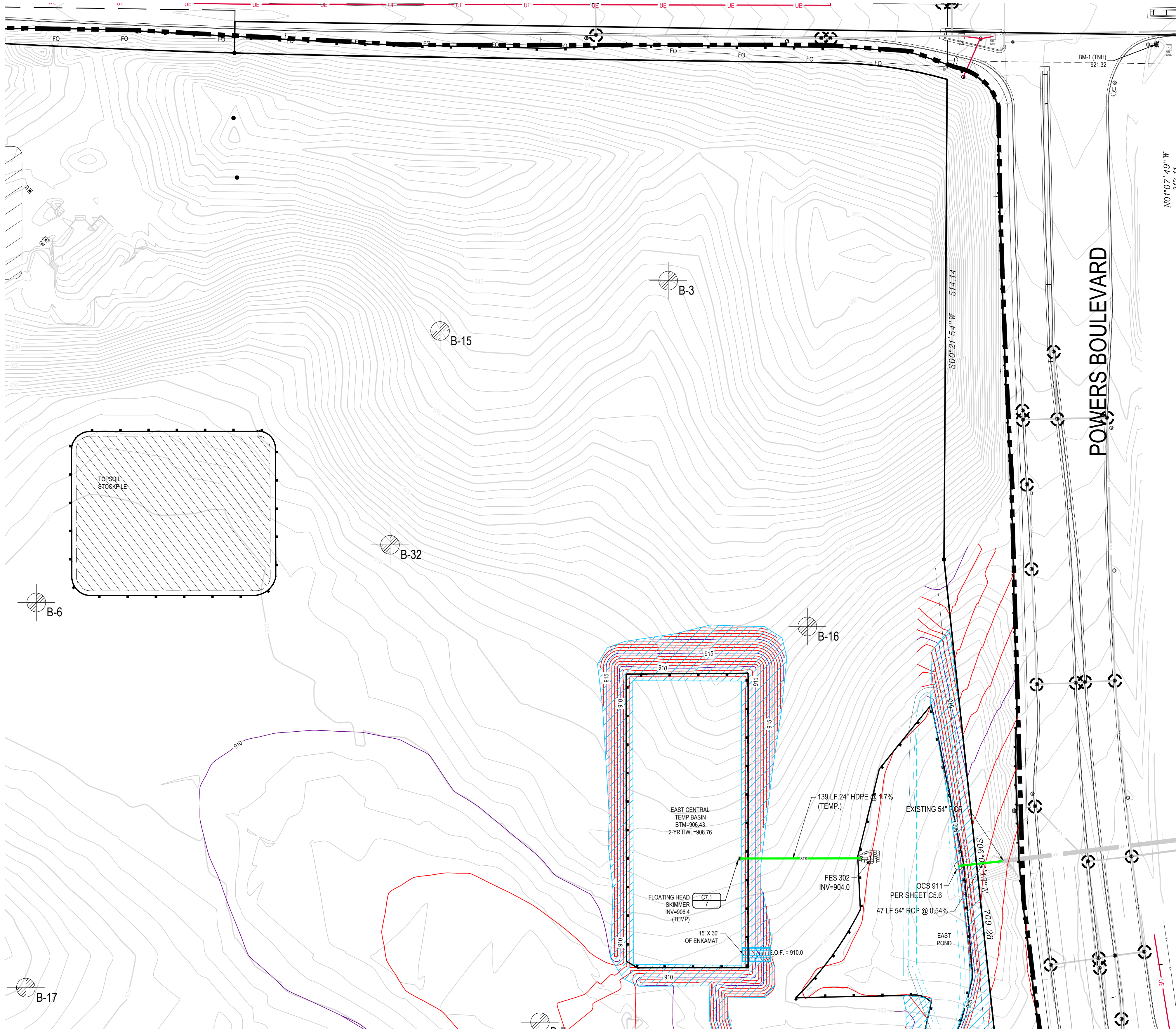
FILE NAME: C301ASCD001.DWG

PROJECT NO.: SCD14001.LEV

NW CONSTRUCTION GRADING, DRAINAGE, & EROSION CONTROL

C3.1A

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GENERAL NOTES

- FOR CONSTRUCTION STAKING AND SURVEYING SERVICES CONTACT LANDFORM AT 612.252.9070.
- INSTALL PERIMETER SEDIMENT CONTROLS PRIOR TO BEGINNING WORK AND MAINTAIN FOR DURATION OF CONSTRUCTION. INSTALL POND / BASIN PROTECTION SEDIMENT CONTROLS WITHIN 7 DAYS OF COMPLETION OF BASIN GRADING. REMOVE PERIMETER CONTROLS AFTER AREAS CONTRIBUTING RUNOFF ARE PERMANENTLY STABILIZED AND DISPOSE OF OFF SITE.
- LIMIT SOIL DISTURBANCE TO THE GRADING LIMITS SHOWN. SCHEDULE OPERATIONS TO MINIMIZE LENGTH OF EXPOSURE OF DISTURBED AREAS.
- MANAGEMENT PRACTICES SHOWN ARE THE MINIMUM REQUIREMENT. INSTALL AND MAINTAIN ADDITIONAL CONTROLS AS WORK PROCEEDS TO PREVENT EROSION AND CONTROL SEDIMENT CARRIED BY WIND OR WATER.
- REFER TO SWPPP NOTES ON SHEET C3.5 FOR ADDITIONAL REQUIREMENTS.
- EXCAVATE TEMPORARY SEDIMENTATION BASINS EARLY IN THE CONSTRUCTION SEQUENCE. REMOVE SEDIMENT FROM BASINS PERIODICALLY AND AFTER AREAS CONTRIBUTING RUNOFF ARE PERMANENTLY STABILIZED.
- ALL EXPOSED SOILS AREAS SHALL BE STABILIZED IMMEDIATELY TO LIMIT SOIL EROSION IN THAT PORTION OF THE SITE WHERE CONSTRUCTION HAS TEMPORARILY OR PERMANENTLY CEASED.
- MASS-GRADING SEED, SOD, MULCH AND FERTILIZER SHALL MEET THE FOLLOWING SPECIFICATIONS, AS MODIFIED.

ITEM	SOD	SEED	MULCH	FERTILIZER
MINDOT 3876	MINDOT 3876	MINDOT 3876	MINDOT 3882	MINDOT 3881
MIN TYPE 22-111 @ 30.5 LB/AC - TEMPORARY EROSION CONTROL	MIN TYPE 25-141 @ 120 LB/AC - PERMANENT TURF	MIN TYPE 33-261 @ 35 LB/AC - PERMANENT WETLAND BUFFER (IF DISTURBED)	(MINDOT TYPE 1 @ 2 TON/AC, DISC ANCHORED)	GENERAL PLACEMENT
2,840 S.Y.	11,160 LB.	2.1 LB.	196 TON	MINDOT 2575
- SEDIMENT ON PAVED SURFACES (E.G. TRACKED FROM VEHICLES) MUST BE REMOVED WITHIN ONE CALENDAR DAY OF DISCOVERY.
- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING GRADING.
- REFER TO THE GEOTECHNICAL REPORT PREPARED BY BRAUN INTERTEC, DATED APRIL 12, 2017, FOR ADDITIONAL INFORMATION ON BACKFILL MATERIAL AND GROUNDWATER CONDITIONS.
- REMOVE TOPSOIL FROM GRADING AREAS AND STOCKPILE SUFFICIENT QUANTITY FOR REUSE. MAINTAIN STOCKPILES WITH MAXIMUM 1V:2H SLOPES.
- REMOVE SURFACE AND GROUND WATER FROM EXCAVATIONS. PROVIDE INITIAL LIFTS OF STABLE FOUNDATION MATERIAL IF EXPOSED SOILS ARE WET AND UNSTABLE.
- AN INDEPENDENT TESTING FIRM SHALL VERIFY THE REMOVAL OF ORGANIC AND UNSUITABLE SOILS, SOIL CORRECTION, AND COMPACTION AND PROVIDE PERIODIC REPORTS TO THE OWNER.
- PLACE AND COMPACT FILL USING LIFT THICKNESSES MATCHED TO SOIL TYPE AND COMPACTION EQUIPMENT TO OBTAIN SPECIFIED COMPACTION THROUGHOUT THE LIFT.
- COMPACT COHESIVE SOILS IN PAVED AREAS TO 95% OF MAXIMUM DRY DENSITY, STANDARD PROCTOR (ASTM D698) EXCEPT THE TOP 3 FEET WHICH SHALL BE COMPACTED TO 100%. COMPACT TO 98% DENSITY WHERE FILL DEPTH EXCEEDS 10 FEET. THE SOILS SHALL BE WITHIN 3% OF OPTIMUM MOISTURE CONTENT. IN GRANULAR SOILS ALL PORTIONS OF THE EMBANKMENT SHALL BE COMPACTED TO NOT LESS THAN 95% OF MODIFIED PROCTOR DENSITY (ASTM D1557).
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GRADING NOTES

RPB/CWD STANDARD EROSION CONTROL NOTES (CONT.)

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LEGEND

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	SILT FENCE	14,100 FEET
	VEHICLE TRACKING PAD	2 EACH
	EROSION CONTROL BLANKET (MINDOT CATEGORY 4N OR 4P)	254,600 S.F.
	ENKAMAT 7010 OR EQUAL	10,469 S.F.
	CONCRETE WASHOUT	
	DRAINAGE SWALE	
	CONSTRUCTION LIMITS	

OWNER

LEVEL 7 DEVELOPMENT, LLC

4600 KINGS POINT RD
MINNETRISTA, MN 55331

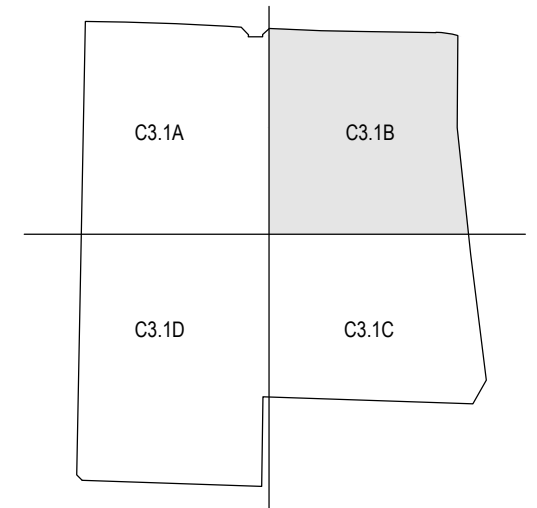
MUNICIPALITY



PROJECT

AVIENDA

KEY MAP



ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
22 APR 2020	WATERSHED SUBMITTAL	SES
01 MAY 2020	CITY SUBMITTAL	SES
27 MAY 2020	WATERSHED SUBMITTAL	SES

PROJECT MANAGER REVIEW

BY SES DATE 05.19.2020

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

Signature shown is a digital signature of the original and a true copy of this plan on file at Landform Professional Services, LLC office and is available upon request.

IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

WATERSHED SUBMITTAL

MAY 27, 2020

LANDFORM
From Site to Finish

105 South Fifth Avenue Tel: 612-252-9070
Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

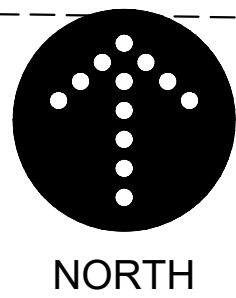
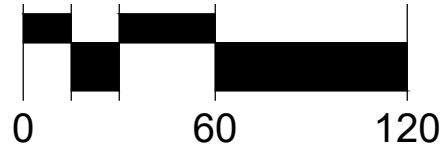
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PROJECT NO. SCD14001.LEV

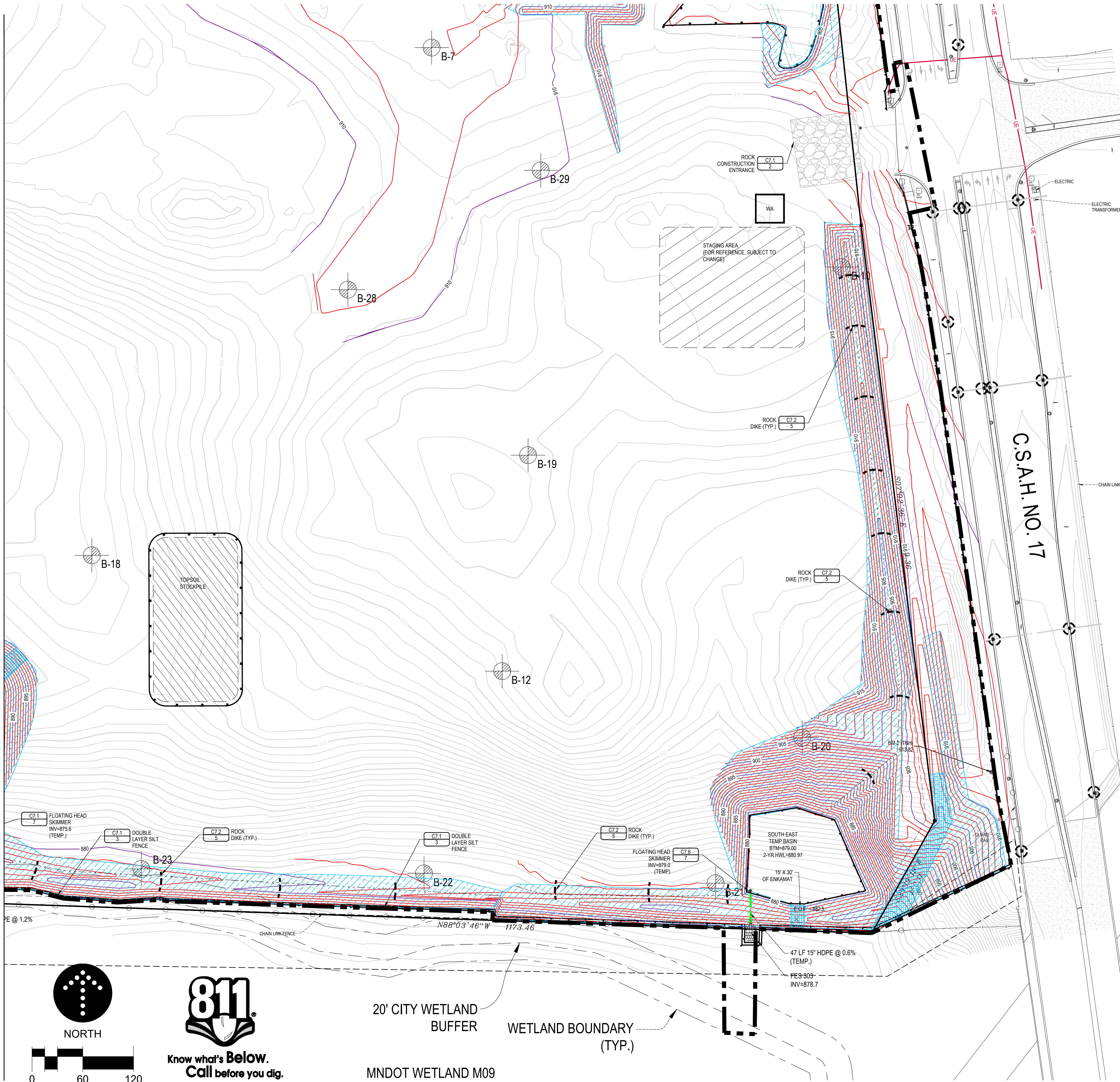
NE CONSTRUCTION GRADING,
DRAINAGE, & EROSION CONTROL

C3.1B

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20' CITY WETLAND BUFFER
WETLAND BOUNDARY (TYP.)
MNDOT WETLAND M09



- GENERAL NOTES**
1. FOR CONSTRUCTION STAKING AND SURVEYING SERVICES CONTACT LANDFORM AT 612.252.9070.

2. INSTALL PERIMETER SEDIMENT CONTROLS PRIOR TO BEGINNING WORK AND MAINTAIN FOR DURATION OF CONSTRUCTION. INSTALL POND / BASIN PROTECTION SEDIMENT CONTROLS WITHIN 7 DAYS OF COMPLETION OF BASIN GRADING. REMOVE PERIMETER CONTROLS AFTER AREAS CONTRIBUTING RUNOFF ARE PERMANENTLY STABILIZED AND DISPOSE OF OFF SITE.

3. LIMIT SOIL DISTURBANCE TO THE GRADING LIMITS SHOWN. SCHEDULE OPERATIONS TO MINIMIZE LENGTH OF EXPOSURE OF DISTURBED AREAS.

4. MANAGEMENT PRACTICES SHOWN ARE THE MINIMUM REQUIREMENT. INSTALL AND MAINTAIN ADDITIONAL CONTROLS AS WORK PROCEEDS TO PREVENT EROSION AND CONTROL SEDIMENT CARRIED BY WIND OR WATER.

5. REFER TO SWPPP NOTES ON SHEET C3.5 FOR ADDITIONAL REQUIREMENTS.

6. EXCAVATE TEMPORARY SEDIMENTATION BASINS EARLY IN THE CONSTRUCTION SEQUENCE. REMOVE SEDIMENT FROM BASINS PERIODICALLY AND AFTER AREAS CONTRIBUTING RUNOFF ARE PERMANENTLY STABILIZED.

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ITEM	SPECIFICATION NUMBER	ESTIMATED QUANTITY
SOD	MNDOT 3876	0 S.Y.
SEED	MNDOT 3876	2,840 S.Y.
	MIN TYPE 22-111 @ 30.5 LB/AC - TEMPORARY EROSION CONTROL	11,160 LB.
	MIN TYPE 25-141 @ 120 LB/AC - PERMANENT TURF	2.1 LB.
	MIN TYPE 33-261 @ 35 LB/AC - PERMANENT WETLAND BUFFER (IF DISTURBED)	196 TON
MULCH	MNDOT 3882	
	(MNDOT TYPE 1 @ 2 TON/AC, DISC ANCHORED)	
FERTILIZER (FOR PERMANENT TURF ONLY)	MNDOT 3881	
GENERAL PLACEMENT	MNDOT 2575	

9. SEDIMENT ON PAVED SURFACES (E.G. TRACKED FROM VEHICLES) MUST BE REMOVED WITHIN ONE CALENDAR DAY OF DISCOVERY.
- EROSION PREVENTION AND SEDIMENT CONTROL NOTES**
10. CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING GRADING.

11. REFER TO THE GEOTECHNICAL REPORT PREPARED BY BRAUN INTERTEC, DATED APRIL 12, 2017, FOR ADDITIONAL INFORMATION ON BACKFILL MATERIAL AND GROUNDWATER CONDITIONS.

12. REMOVE TOPSOIL FROM GRADING AREAS AND STOCKPILE SUFFICIENT QUANTITY FOR REUSE. MAINTAIN STOCKPILES WITH MAXIMUM 1V:2H SLOPES.

13. REMOVE SURFACE AND GROUND WATER FROM EXCAVATIONS. PROVIDE INITIAL LIFTS OF STABLE FOUNDATION MATERIAL IF EXPOSED SOILS ARE WET AND UNSTABLE.

14. AN INDEPENDENT TESTING FIRM SHALL VERIFY THE REMOVAL OF ORGANIC AND UNSUITABLE SOILS, SOIL CORRECTION, AND COMPACTION AND PROVIDE PERIODIC REPORTS TO THE OWNER.

15. PLACE AND COMPACT FILL USING LIFT THICKNESSES MATCHED TO SOIL TYPE AND COMPACTION EQUIPMENT TO OBTAIN SPECIFIED COMPACTION THROUGHOUT THE LIFT.

16. COMPACT COHESIVE SOILS IN PAVED AREAS TO 95% OF MAXIMUM DRY DENSITY, STANDARD PROCTOR (ASTM D698) EXCEPT THE TOP 3 FEET WHICH SHALL BE COMPACTED TO 100%. COMPACT TO 98% DENSITY WHERE FILL DEPTH EXCEEDS 10 FEET. THE SOILS SHALL BE WITHIN 3% OF OPTIMUM MOISTURE CONTENT. IN GRANULAR SOILS ALL PORTIONS OF THE EMBANKMENT SHALL BE COMPACTED TO NOT LESS THAN 95% OF MODIFIED PROCTOR DENSITY (ASTM D1557).

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18. SLOPE CALLOUTS ARE VERTICAL:HORIZONTAL (V:H)

19. NO CONSTRUCTION EXIT OR ENTRANCE TO THE SITE WILL BE ALLOWED AT MILLS DRIVE OR BLUFF CREEK BOULEVARD.
- GRADING NOTES**
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23. CONSTRUCTION SITE WASTE SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, LITTER AND SANITARY WASTE MUST BE PROPERLY MANAGED.

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26. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN 7 CALENDAR DAYS AFTER LAND-DISTURBING WORK HAS TEMPORARILY OR PERMANENTLY CEASED ON A PROPERTY THAT DRAINS TO AN IMPAIRED WATER.

27. SOIL SURFACES COMPACTED DURING CONSTRUCTION AND REMAINING PERVIOUS UPON COMPLETION OF CONSTRUCTION MUST BE DECOMPACTED TO ACHIEVE:

 - A) A SOIL COMPACTION TESTING PRESSURE OF LESS THAN 1,400 KILOPASCALS OR 200 POUNDS PER SQUARE INCH IN THE UPPER 12 INCHES OF SOIL OR
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IN ADDITION, UTILITIES, TREE ROOTS AND OTHER EXISTING VEGETATION MUST BE PROTECTED UNTIL FINAL REVEGETATION OR OTHER STABILIZATION OF THE SITE. REFER TO SHEET C3.6 FOR DECOMPACTION AREAS.

28. THE PERMITTEE MUST INSPECT ALL EROSION PREVENTION AND SEDIMENT CONTROL FACILITIES AND SOIL STABILIZATION MEASURES TO ENSURE INTEGRITY AND EFFECTIVENESS. THE PERMITTEE MUST REPAIR, REPLACE, OR SUPPLEMENT ALL NONFUNCTIONAL BMPs WITHIN 48 HOURS OF DISCOVERY AND PRIOR TO THE NEXT PRECIPITATION EVENT UNLESS ADVERSE CONDITIONS PRECLUDE ACCESS TO THE RELEVANT AREA OF THE SITE, IN WHICH CASE THE REPAIR MUST BE COMPLETED AS SOON AS CONDITIONS ALLOW. WHEN ACTIVE LAND-DISTURBING ACTIVITIES ARE NOT UNDERWAY, THE PERMITTEE MUST PERFORM THESE RESPONSIBILITIES AT LEAST WEEKLY UNTIL VEGETATIVE COVER IS ESTABLISHED. THE PERMITTEE WILL MAINTAIN A LOG OF ACTIVITIES UNDER THIS SECTION FOR INSPECTION BY THE DISTRICT ON REQUEST.

29. ACTIVITIES MUST BE CONDUCTED SO AS TO MINIMIZE THE POTENTIAL TRANSFER OF AQUATIC INVASIVE SPECIES (E.G., ZEBRA MUSSELS, EURASIAN WATERMILFOL, ETC.) TO THE MAXIMUM EXTENT POSSIBLE.

30. STAKING OFF AND MARKING OF PROPOSED INFILTRATION FACILITIES TO PREVENT SOIL COMPACTION BY HEAVY EQUIPMENT, STOCKPILING OF MATERIALS, AND TRAFFIC. IF INFILTRATION FACILITIES ARE IN PLACE DURING CONSTRUCTION ACTIVITIES, BEST PRACTICES MUST BE DEPLOYED TO PREVENT SEDIMENT AND OTHER MATERIAL FROM ENTERING THE PRACTICES. INFILTRATION FACILITIES MUST NOT BE EXCAVATED TO WITHIN 3 FEET OF FINAL GRADE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN CONSTRUCTED AND FULLY STABILIZED. ANY ACCUMULATED SEDIMENT IN AN INFILTRATION FACILITY MUST BE REMOVED IN MANNER THAT PREVENTS COMPACTION OF THE FACILITY BOTTOM. TO PROVIDE A WELL-AERATED, HIGHLY POROUS SURFACE, THE SOILS BELOW AN INFILTRATION PRACTICE MUST BE LOOSENEED TO A MINIMUM DEPTH OF 18 INCHES PRIOR TO INSTALLATION OR PLANTING.
- RPBOWD STANDARD EROSION CONTROL NOTES (CONT.)**
30. STAKING OFF AND MARKING OF PROPOSED INFILTRATION FACILITIES TO PREVENT SOIL COMPACTION BY HEAVY EQUIPMENT, STOCKPILING OF MATERIALS, AND TRAFFIC. IF INFILTRATION FACILITIES ARE IN PLACE DURING CONSTRUCTION ACTIVITIES, BEST PRACTICES MUST BE DEPLOYED TO PREVENT SEDIMENT AND OTHER MATERIAL FROM ENTERING THE PRACTICES. INFILTRATION FACILITIES MUST NOT BE EXCAVATED TO WITHIN 3 FEET OF FINAL GRADE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN CONSTRUCTED AND FULLY STABILIZED. ANY ACCUMULATED SEDIMENT IN AN INFILTRATION FACILITY MUST BE REMOVED IN MANNER THAT PREVENTS COMPACTION OF THE FACILITY BOTTOM. TO PROVIDE A WELL-AERATED, HIGHLY POROUS SURFACE, THE SOILS BELOW AN INFILTRATION PRACTICE MUST BE LOOSENEED TO A MINIMUM DEPTH OF 18 INCHES PRIOR TO INSTALLATION OR PLANTING.
- LEGEND**
- | SYMBOL | DESCRIPTION | ESTIMATED QUANTITY |
|--------|---|--------------------|
| | INLET PROTECTION | 69 EACH |
| | SILT FENCE | 14,100 FEET |
| | VEHICLE TRACKING PAD | 2 EACH |
| | EROSION CONTROL BLANKET (MNDOT CATEGORY 4N OR 4P) | 254,600 S.F. |
| | ENKAMAT 7010 OR EQUAL | 10,469 S.F. |
| | CONCRETE WASHOUT | |
| | DRAINAGE SWALE | |
| | CONSTRUCTION LIMITS | |
- OWNER**
- LEVEL 7 DEVELOPMENT, LLC
4600 KINGS POINT RD
MINNETRISTA, MN 55331
- MUNICIPALITY**
-
- PROJECT**
- # AVIENDA
- KEY MAP**
-
- ISSUE / REVISION HISTORY**
- | DATE | ISSUE / REVISION | REVIEW |
|-------------|---------------------|--------|
| 22 APR 2020 | WATERSHED SUBMITTAL | SES |
| 01 MAY 2020 | CITY SUBMITTAL | SES |
| 27 MAY 2020 | WATERSHED SUBMITTAL | SES |
- PROJECT MANAGER REVIEW**
- BY SES DATE 05.19.2020
- CERTIFICATION**
- I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of MINNESOTA.

Steven E. Sabers License No. 14715 Date: 05/27/2020

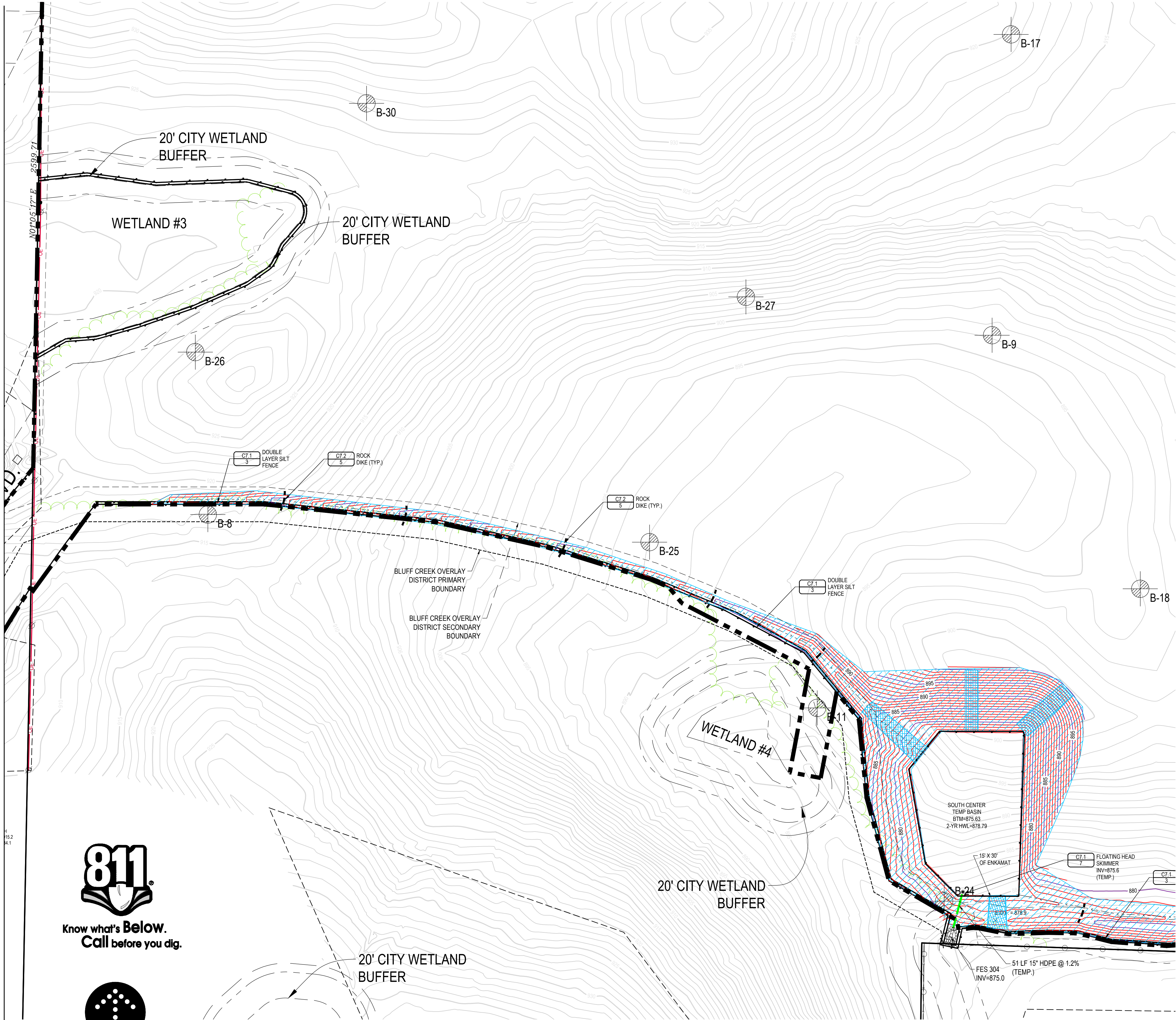
Signature shown is a digital signature of original. A hard copy of this plan on file at Landform Professional Services, LLC, office and email address upon request.

PRELIMINARY NOT FOR CONSTRUCTION
- WATERSHED SUBMITTAL**
- MAY 27, 2020
-
- 105 South Fifth Avenue Suite 513 Minneapolis, MN 55401

Tel: 612-252-9070 Fax: 612-252-9077 Web: landform.net
- FILE NAME C301CSCD001.DWG

PROJECT NO. SCD14001.LEV
- SE CONSTRUCTION GRADING, DRAINAGE, & EROSION CONTROL

C3.1C
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- GENERAL NOTES
1. FOR CONSTRUCTION STAKING AND SURVEYING SERVICES CONTACT LANDFORM AT 612.252.9070.
- EROSION PREVENTION AND SEDIMENT CONTROL NOTES
2. INSTALL PERIMETER SEDIMENT CONTROLS PRIOR TO BEGINNING WORK AND MAINTAIN FOR DURATION OF CONSTRUCTION. INSTALL POND / BASIN PROTECTION SEDIMENT CONTROLS WITHIN 7 DAYS OF COMPLETION OF BASIN GRADING. REMOVE PERIMETER CONTROLS AFTER AREAS CONTRIBUTING RUNOFF ARE PERMANENTLY STABILIZED AND DISPOSE OF OFF SITE.
3. LIMIT SOIL DISTURBANCE TO THE GRADING LIMITS SHOWN. SCHEDULE OPERATIONS TO MINIMIZE LENGTH OF EXPOSURE OF DISTURBED AREAS.
4. MANAGEMENT PRACTICES SHOWN ARE THE MINIMUM REQUIREMENT. INSTALL AND MAINTAIN ADDITIONAL CONTROLS AS WORK PROCEEDS TO PREVENT EROSION AND CONTROL SEDIMENT CARRIED BY WIND OR WATER.
5. REFER TO SWPPP NOTES ON SHEET C3.5 FOR ADDITIONAL REQUIREMENTS.
6. EXCAVATE TEMPORARY SEDIMENTATION BASINS EARLY IN THE CONSTRUCTION SEQUENCE. REMOVE SEDIMENT FROM BASINS PERIODICALLY AND AFTER AREAS CONTRIBUTING RUNOFF ARE PERMANENTLY STABILIZED.
7. ALL EXPOSED SOILS AREAS SHALL BE STABILIZED IMMEDIATELY TO LIMIT SOIL EROSION IN THAT PORTION OF THE SITE WHERE CONSTRUCTION HAS TEMPORARILY OR PERMANENTLY CEASED.
8. MASS-GRADING SEED, SOD, MULCH AND FERTILIZER SHALL MEET THE FOLLOWING SPECIFICATIONS, AS MODIFIED.
- | ITEM | SOD | SEED | MINDOT 3876 | MINDOT 3876 | ESTIMATED QUANTITY | 0 | S.Y. |
|--|-----|------|-------------|-------------|--------------------|---|------|
| MIN TYPE 22-111 @ 30.5 LB/AC - TEMPORARY EROSION CONTROL | | | | | 2,840 | | S.Y. |
| MIN TYPE 25-141 @ 120 LB/AC - PERMANENT TURF | | | | | 11,160 | | LB. |
| MIN TYPE 33-261 @ 35 LB/AC - PERMANENT WETLAND BUFFER (IF DISTURBED) | | | | | 2.1 | | TON |
| MULCH (MINDOT TYPE 1 @ 2 TON/AC, DISC ANCHORED) | | | | | 196 | | TON |
| FERTILIZER (FOR PERMANENT TURF ONLY) | | | | | | | |
| GENERAL PLACEMENT | | | | | | | |
9. SEDIMENT ON PAVED SURFACES (E.G. TRACKED FROM VEHICLES) MUST BE REMOVED WITHIN ONE CALENDAR DAY OF DISCOVERY.

- GRADING NOTES
10. CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING GRADING.
11. REFER TO THE GEOTECHNICAL REPORT PREPARED BY BRAUN INTERTEC, DATED APRIL 12, 2017, FOR ADDITIONAL INFORMATION ON BACKFILL MATERIAL AND GROUNDWATER CONDITIONS.
12. REMOVE TOPSOIL FROM GRADING AREAS AND STOCKPILE SUFFICIENT QUANTITY FOR REUSE. MAINTAIN STOCKPILES WITH MAXIMUM 1V/2H SLOPES.
13. REMOVE SURFACE AND GROUND WATER FROM EXCAVATIONS. PROVIDE INITIAL LIFTS OF STABLE FOUNDATION MATERIAL IF EXPOSED SOILS ARE WET AND UNSTABLE.
14. AN INDEPENDENT TESTING FIRM SHALL VERIFY THE REMOVAL OF ORGANIC AND UNSUITABLE SOILS, SOIL CORRECTION, AND COMPACTION AND PROVIDE PERIODIC REPORTS TO THE OWNER.
15. PLACE AND COMPACT FILL USING LIFT THICKNESSES MATCHED TO SOIL TYPE AND COMPACTION EQUIPMENT TO OBTAIN SPECIFIED COMPACTION THROUGHOUT THE LIFT.
16. COMPACT COHESIVE SOILS IN PAVED AREAS TO 95% OF MAXIMUM DRY DENSITY, STANDARD PROCTOR (ASTM D698) EXCEPT THE TOP 3 FEET WHICH SHALL BE COMPACTED TO 100%. COMPACT TO 98% DENSITY WHERE FILL DEPTH EXCEEDS 10 FEET. THE SOILS SHALL BE WITHIN 3% OF OPTIMUM MOISTURE CONTENT. IN GRANULAR SOILS ALL PORTIONS OF THE EMBANKMENT SHALL BE COMPACTED TO NOT LESS THAN 95% OF MODIFIED PROCTOR DENSITY (ASTM D1557).
17. ALL DISTURBED SOIL SURFACE AREAS SHALL BE DECOMPACTED TO A DEPTH OF 18-INCHES AND COVERED WITH SIX INCHES OF TOPSOIL. REFER TO RPB/CWD STANDARD EROSION CONTROL NOTES FOR ADDITIONAL REQUIREMENTS.
18. SLOPE CALLOUTS ARE VERTICAL-HORIZONTAL (V:H)
19. NO CONSTRUCTION EXIT OR ENTRANCE TO THE SITE WILL BE ALLOWED AT MILLS DRIVE OR BLUFF CREEK BOULEVARD.

- RPB/CWD STANDARD EROSION CONTROL NOTES (CONT.)
20. NATURAL TOPOGRAPHY AND SOIL CONDITIONS MUST BE PROTECTED, INCLUDING RETENTION ON SITE OF NATIVE TOPSOIL TO THE GREATEST EXTENT POSSIBLE.
21. ADDITIONAL MEASURES, SUCH AS HYDRAULIC MULCHING AND OTHER PRACTICES AS SPECIFIED BY THE DISTRICT MUST BE USED ON SLOPES OF 3:1 (H:V) OR STEEPER TO PROVIDE ADEQUATE STABILIZATION.
22. FINAL SITE STABILIZATION MEASURES MUST SPECIFY THAT AT LEAST SIX INCHES OF TOPSOIL OR ORGANIC MATTER BE SPREAD AND INCORPORATED INTO THE UNDERLYING SOIL DURING FINAL SITE TREATMENT WHEREVER TOPSOIL HAS BEEN REMOVED.
23. CONSTRUCTION SITE WASTE SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, LITTER AND SANITARY WASTE MUST BE PROPERLY MANAGED.
24. ALL TEMPORARY EROSION AND SEDIMENT CONTROL BMPs MUST BE MAINTAINED UNTIL COMPLETION OF CONSTRUCTION AND VEGETATION IS ESTABLISHED SUFFICIENTLY TO ENSURE STABILITY OF THE SITE, AS DETERMINED BY THE DISTRICT.
25. ALL TEMPORARY EROSION AND SEDIMENT CONTROL BMPs MUST BE REMOVED UPON FINAL STABILIZATION.
26. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN 7 CALENDAR DAYS AFTER LAND-DISTURBING WORK HAS TEMPORARILY OR PERMANENTLY CEASED ON A PROPERTY THAT DRAINS TO AN IMPAIRED WATER.
27. SOIL SURFACES COMPACTED DURING CONSTRUCTION AND REMAINING PERVIOUS UPON COMPLETION OF CONSTRUCTION MUST BE DECOMPACTED TO ACHIEVE:
A) A SOIL COMPACTION TESTING PRESSURE OF LESS THAN 1,400 KILOPASCALS OR 200 POUNDS PER SQUARE INCH IN THE UPPER 12 INCHES OF SOIL OR
B) A BULK DENSITY OF LESS THAN 1.4 GRAMS PER CUBIC CENTIMETER OR 87 POUNDS PER CUBIC FOOT IN THE UPPER 12 INCHES OF SOIL
IN ADDITION, UTILITIES, TREE ROOTS AND OTHER EXISTING VEGETATION MUST BE PROTECTED UNTIL FINAL REVEGETATION OR OTHER STABILIZATION OF THE SITE. REFER TO SHEET C3.6 FOR DECOMPACTION AREAS.
28. THE PERMITTEE MUST INSPECT ALL EROSION PREVENTION AND SEDIMENT CONTROL FACILITIES AND SOIL STABILIZATION MEASURES TO ENSURE INTEGRITY AND EFFECTIVENESS. THE PERMITTEE MUST REPAIR, REPLACE OR SUPPLEMENT ALL NONFUNCTIONAL BMPs WITH FUNCTIONAL BMPs WITHIN 48 HOURS OF DISCOVERY AND PRIOR TO THE NEXT PRECIPITATION EVENT UNLESS ADVERSE CONDITIONS PRECLUDE ACCESS TO THE RELEVANT AREA OF THE SITE, IN WHICH CASE THE REPAIR MUST BE COMPLETED AS SOON AS CONDITIONS ALLOW. WHEN ACTIVE LAND-DISTURBING ACTIVITIES ARE NOT UNDERWAY, THE PERMITTEE MUST PERFORM THESE RESPONSIBILITIES AT LEAST WEEKLY UNTIL VEGETATIVE COVER IS ESTABLISHED. THE PERMITTEE WILL MAINTAIN A LOG OF ACTIVITIES UNDER THIS SECTION FOR INSPECTION BY THE DISTRICT ON REQUEST.
29. ACTIVITIES MUST BE CONDUCTED SO AS TO MINIMIZE THE POTENTIAL TRANSFER OF AQUATIC INVASIVE SPECIES (E.G. ZEBRA MUSSELS, EURASIAN WATERMILFOL, ETC.) TO THE MAXIMUM EXTENT POSSIBLE.
30. STAKING OFF AND MARKING OF PROPOSED INFILTRATION FACILITIES TO PREVENT SOIL COMPACTION BY HEAVY EQUIPMENT, STOCKPILING OF MATERIALS, AND TRAFFIC. IF INFILTRATION FACILITIES ARE IN PLACE DURING CONSTRUCTION ACTIVITIES, BEST PRACTICES MUST BE DEPLOYED TO PREVENT SEDIMENT AND OTHER MATERIAL FROM ENTERING THE PRACTICE(S). INFILTRATION FACILITIES MUST NOT BE EXCAVATED TO WITHIN 3 FEET OF FINAL GRADE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN CONSTRUCTED AND FULLY STABILIZED. ANY ACCUMULATED SEDIMENT IN AN INFILTRATION FACILITY MUST BE REMOVED IN MANNER THAT PREVENTS COMPACTION OF THE FACILITY BOTTOM. TO PROVIDE A WELL-AERATED, HIGHLY POROUS SURFACE, THE SOILS BELOW AN INFILTRATION PRACTICE MUST BE LOOSENEED TO A MINIMUM DEPTH OF 18 INCHES PRIOR TO INSTALLATION OR PLANTING.

LEGEND		
SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
	INLET PROTECTION	69 EACH
	SILT FENCE	14,100 FEET
	VEHICLE TRACKING PAD	2 EACH
	EROSION CONTROL BLANKET (MNDOT CATEGORY 4N OR 4P)	254,600 S.F.
	ENKAMAT 7010 OR EQUAL	10,469 S.F.
	CONCRETE WASHOUT	
	DRAINAGE SWALE	
	CONSTRUCTION LIMITS	

OWNER

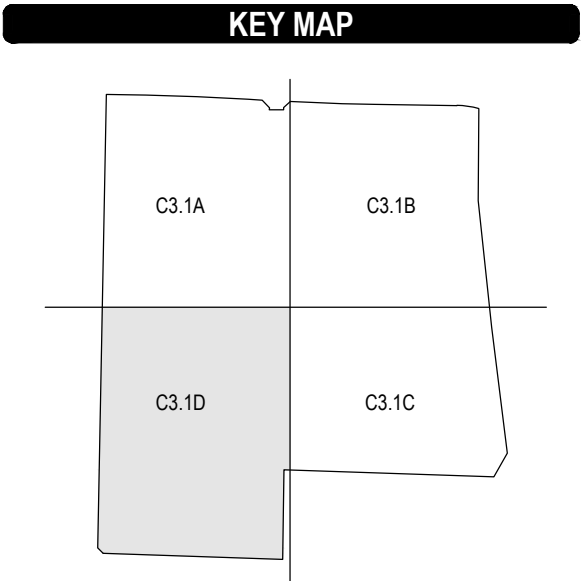
LEVEL 7 DEVELOPMENT, LLC

4600 KINGS POINT RD
MINNETRISTA, MN 55331

MUNICIPALITY

PROJECT

AVIENDA



ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
22 APR 2020	WATERSHED SUBMITTAL	SES
01 MAY 2020	CITY SUBMITTAL	SES
27 MAY 2020	WATERSHED SUBMITTAL	SES

PROJECT MANAGER REVIEW

BY SES DATE 05.19.2020

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

Steven E. Sabers
License No. 17785 Date: 05/27/2020

Signature shown is a digital signature of original. The printed copy of this plan on file at Landform Professional Services, LLC, office and is available upon request.

PRELIMINARY
NOT FOR CONSTRUCTION

IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

WATERSHED SUBMITTAL

MAY 27, 2020

LANDFORM

From Site to Finish

105 South Fifth Avenue Tel: 612-252-9070
Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

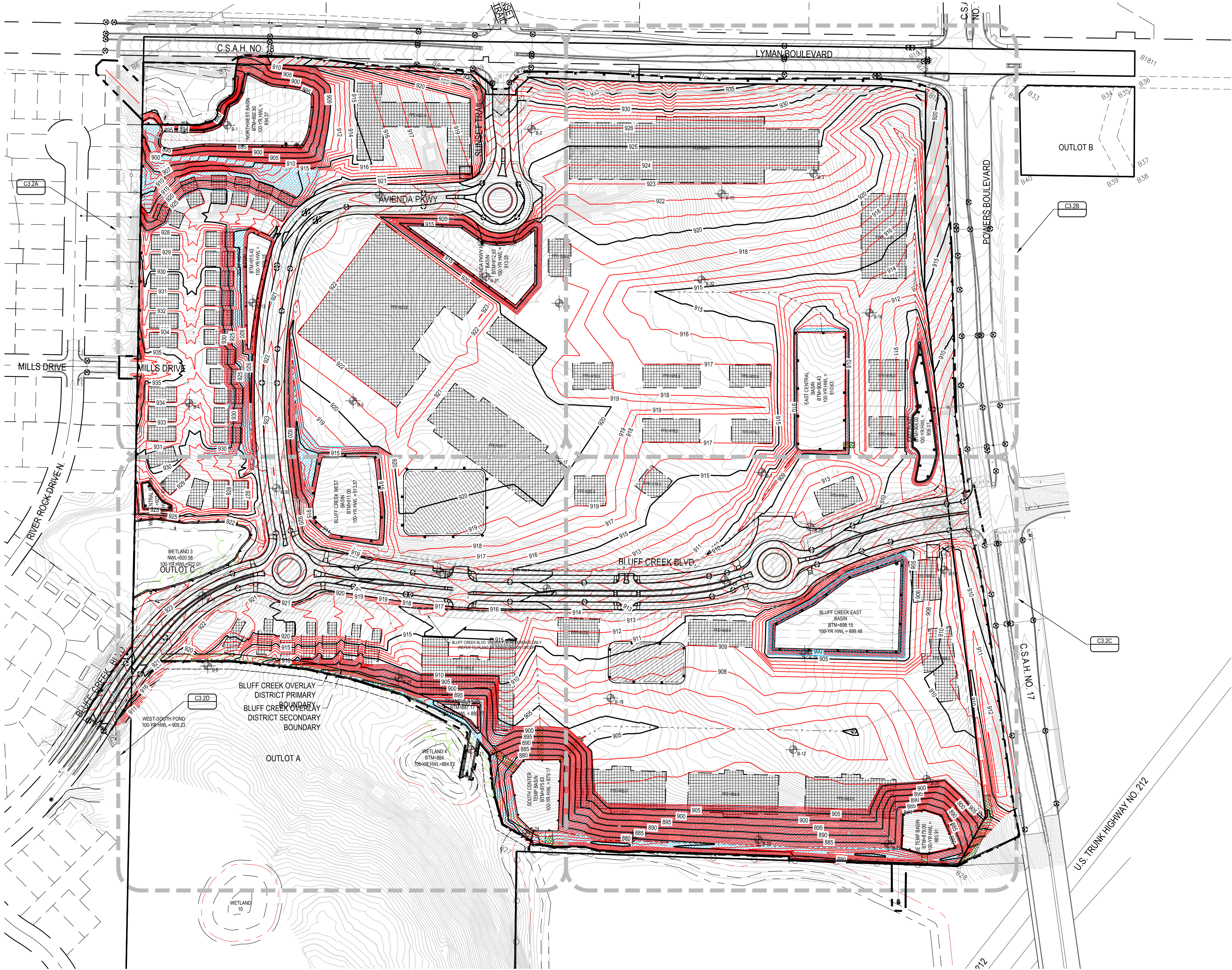
FILE NAME C301DSCD001.DWG

PROJECT NO. SCD14001.LEV

SW CONSTRUCTION GRADING,
DRAINAGE, & EROSION CONTROL

C3.1D

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GENERAL NOTES

- FOR CONSTRUCTION STAKING AND SURVEYING SERVICES CONTACT LANDFORM AT 612.252.9070.
- INSTALL PERIMETER SEDIMENT CONTROLS PRIOR TO BEGINNING WORK AND MAINTAIN FOR DURATION OF CONSTRUCTION. INSTALL POND / BASIN PROTECTION SEDIMENT CONTROLS WITHIN 7 DAYS OF COMPLETION OF BASIN GRADING. REMOVE PERIMETER CONTROLS AFTER AREAS CONTRIBUTING RUNOFF ARE PERMANENTLY STABILIZED AND DISPOSE OF OFF SITE.
- LIMIT SOIL DISTURBANCE TO THE GRADING LIMITS SHOWN. SCHEDULE OPERATIONS TO MINIMIZE LENGTH OF EXPOSURE OF DISTURBED AREAS.
- MANAGEMENT PRACTICES SHOWN ARE THE MINIMUM REQUIREMENT. INSTALL AND MAINTAIN ADDITIONAL CONTROLS AS WORK PROCEEDS TO PREVENT EROSION AND CONTROL SEDIMENT CARRIED BY WIND OR WATER.
- REFER TO SWPPP NOTES ON SHEET C3.5 FOR ADDITIONAL REQUIREMENTS.
- EXCAVATE PONDS AND TEMPORARY SEDIMENTATION BASINS EARLY IN THE CONSTRUCTION SEQUENCE. REMOVE SEDIMENT FROM PONDS AND BASINS PERIODICALLY AND AFTER AREAS CONTRIBUTING RUNOFF ARE PERMANENTLY STABILIZED.
- CONTRACTOR SHALL PREVENT SEDIMENT LADEN WATER FROM ENTERING INFILTRATION SYSTEMS UNTIL THE SITE IS COMPLETELY STABILIZED.
- ALL EXPOSED SOILS AREAS SHALL BE STABILIZED IMMEDIATELY TO LIMIT SOIL EROSION IN THAT PORTION OF THE SITE WHERE CONSTRUCTION HAS TEMPORARILY OR PERMANENTLY CEASED.
- TEMPORARY SEED, SOD, MULCH AND FERTILIZER SHALL MEET THE FOLLOWING SPECIFICATIONS, AS MODIFIED.

ITEM	SPECIFICATION NUMBER
SOD	MINDOT 3878
SEED	MINDOT 3876
	MN TYPE 22-111 @ 30.5 LB/AC - TEMPORARY EROSION CONTROL
	MN TYPE 25-151 @ 120 LB/AC - PERMANENT TURF
MULCH	MINDOT 3882
	MN TYPE 33-261 @ 35 LB/AC - PERMANENT WETLAND BUFFER
	(MINDOT TYPE 1 @ 2 TON/AC, DISC ANCHORED)
FERTILIZER (FOR PERMANENT TURF ONLY)	MINDOT 3881
GENERAL PLACEMENT	MINDOT 2575
- SEE SITE RESTORATION SHEET FOR PERMANENT TURF AND LANDSCAPE ESTABLISHMENT.
- SCRAPE ADJACENT STREETS CLEAN DAILY AND SWEEP CLEAN WEEKLY.

GRADING NOTES

- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING GRADING.
- REFER TO THE GEOTECHNICAL REPORT PREPARED BY BRAUN INTERTEC, DATED APRIL 12, 2017, FOR ADDITIONAL INFORMATION ON BACKFILL MATERIAL AND GROUNDWATER CONDITIONS.
- REMOVE TOPSOIL FROM GRADING AREAS AND STOCKPILE SUFFICIENT QUANTITY FOR REUSE. MAINTAIN STOCKPILES WITH MAXIMUM 1V:2H SLOPES.
- REMOVE SURFACE AND GROUND WATER FROM EXCAVATIONS. PROVIDE INITIAL LIFTS OF STABLE FOUNDATION MATERIAL IF EXPOSED SOILS ARE WET AND UNSTABLE.
- AN INDEPENDENT TESTING FIRM SHALL VERIFY THE REMOVAL OF ORGANIC AND UNSATURATED SOILS, SOIL CORRECTION, AND COMPACTION AND PROVIDE PERIODIC REPORTS TO THE OWNER.
- PLACE AND COMPACT FILL USING LIFT THICKNESSES MATCHED TO SOIL TYPE AND COMPACTION EQUIPMENT TO OBTAIN SPECIFIED COMPACTION THROUGHOUT THE LIFT.
- COMPACT COHESIVE SOILS IN PAVED AREAS TO 95% OF MAXIMUM DRY DENSITY, STANDARD PROCTOR (ASTM D698) EXCEPT THE TOP 3 FEET WHICH SHALL BE COMPACTED TO 100%. COMPACT TO 98% DENSITY WHERE FILL DEPTH EXCEEDS 10 FEET. THE SOILS SHALL BE WITHIN 3% OF OPTIMUM MOISTURE CONTENT. IN GRANULAR SOILS ALL PORTIONS OF THE EMBANKMENT SHALL BE COMPACTED TO NOT LESS THAN 95% OF MODIFIED PROCTOR DENSITY (ASTM D1557).
- AVOID SOIL COMPACTION OF INFILTRATION PRACTICES. ANY EQUIPMENT USED IN INFILTRATION AREAS SHOULD BE SMALL SCALED AND TRACKED.
- ALL DISTURBED SOIL SURFACE AREAS, EXCEPT FOR THE AREAS UNDER THE PROPOSED STREET PAVEMENT AND THE TRAIL AND SIDEWALKS, SHALL BE DECOMPACTED TO A DEPTH OF 18-INCHES AND COVERED WITH SIX INCHES OF TOPSOIL. REFER TO RPBOWD STANDARD EROSION CONTROL NOTES FOR ADDITIONAL REQUIREMENTS.
- REFER TO SHEET C3.3 FOR PHASE 1 BASIN CROSS-SECTIONS.
- SLOPE CALLOUTS ARE VERTICAL/HORIZONTAL (V/H)

RPBOWD STANDARD EROSION CONTROL NOTES

- NATURAL TOPOGRAPHY AND SOIL CONDITIONS MUST BE PROTECTED, INCLUDING RETENTION ON SITE OF NATIVE TOPSOIL TO THE GREATEST EXTENT POSSIBLE.
- ADDITIONAL MEASURES, SUCH AS HYDRAULIC MULCHING AND OTHER PRACTICES AS SPECIFIED BY THE DISTRICT MUST BE USED ON SLOPES OF 3:1 (H/V) OR STEEPER TO PROVIDE ADEQUATE STABILIZATION.
- FINAL SITE STABILIZATION MEASURES MUST SPECIFY THAT AT LEAST SIX INCHES OF TOPSOIL OR ORGANIC MATTER BE SPREAD AND INCORPORATED INTO THE UNDERLYING SOIL DURING FINAL SITE TREATMENT WHEREVER TOPSOIL HAS BEEN REMOVED.
- CONSTRUCTION SITE WASTE SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, LITTER AND SANITARY WASTE MUST BE PROPERLY MANAGED.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL BMPs MUST BE MAINTAINED UNTIL COMPLETION OF CONSTRUCTION AND VEGETATION IS ESTABLISHED SUFFICIENTLY TO ENSURE STABILITY OF THE SITE, AS DETERMINED BY THE DISTRICT.
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- SOIL SURFACES COMPACTED DURING CONSTRUCTION AND REMAINING PERVIOUS UPON COMPLETION OF CONSTRUCTION MUST BE DECOMPACTED TO ACHIEVE:
 - A) A SOIL COMPACTION TESTING PRESSURE OF LESS THAN 1,400 KILOPASCALS OR 200 POUNDS PER SQUARE INCH IN THE UPPER 12 INCHES OF SOIL OR
 - B) A BULK DENSITY OF LESS THAN 1.4 GRAMS PER CUBIC CENTIMETER OR 87 POUNDS PER CUBIC FOOT IN THE UPPER 12 INCHES OF SOIL.
- THE PERMITTEE MUST INSPECT ALL EROSION PREVENTION AND SEDIMENT CONTROL FACILITIES AND SOIL STABILIZATION MEASURES TO ENSURE INTEGRITY AND EFFECTIVENESS. THE PERMITTEE MUST REPAIR, REPLACE, OR SUPPLEMENT ALL NONFUNCTIONAL BMPs WITH FUNCTIONAL BMPs WITHIN 48 HOURS OF DISCOVERY AND PRIOR TO THE NEXT PRECIPITATION EVENT UNLESS ADVERSE CONDITIONS PRECLUDE ACCESS TO THE RELEVANT AREA OF THE SITE, IN WHICH CASE THE REPAIR MUST BE COMPLETED AS SOON AS CONDITIONS ALLOW. WHEN ACTIVE LAND-DISTURBING ACTIVITIES ARE NOT UNDERWAY, THE PERMITTEE MUST PERFORM THESE RESPONSIBILITIES AT LEAST WEEKLY UNTIL VEGETATIVE COVER IS ESTABLISHED. THE PERMITTEE WILL MAINTAIN A LOG OF ACTIVITIES UNDER THIS SECTION FOR INSPECTION BY THE DISTRICT ON REQUEST.
- ACTIVITIES MUST BE CONDUCTED SO AS TO MINIMIZE THE POTENTIAL TRANSFER OF AQUATIC INVASIVE SPECIES (E.G., ZEBRA MUSSELS, EURASIAN WATERMILFOLI, ETC.) TO THE MAXIMUM EXTENT POSSIBLE.

- STAKING OFF AND MARKING OF PROPOSED INFILTRATION FACILITIES TO PREVENT SOIL COMPACTION BY HEAVY EQUIPMENT, STOCKPILING OF MATERIALS, AND TRAFFIC. IF INFILTRATION FACILITIES ARE IN PLACE DURING CONSTRUCTION ACTIVITIES, BEST PRACTICES MUST BE DEPLOYED TO PREVENT SEDIMENT AND OTHER MATERIAL FROM ENTERING THE PRACTICE(S). INFILTRATION FACILITIES MUST NOT BE EXCAVATED TO WITHIN 3 FEET OF FINAL GRADE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN CONSTRUCTED AND FULLY STABILIZED. ANY ACCUMULATED SEDIMENT IN AN INFILTRATION FACILITY MUST BE REMOVED IN MANNER THAT PREVENTS COMPACTION OF THE FACILITY BOTTOM. TO PROVIDE A WELL-AERATED, HIGHLY POROUS SURFACE, THE SOILS BELOW AN INFILTRATION PRACTICE MUST BE LOOSENOED TO A MINIMUM DEPTH OF 18 INCHES PRIOR TO INSTALLATION OR PLANTING.

LEGEND

SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
	INLET PROTECTION	134 EACH
	SILT FENCE	18,000 FEET
	VEHICLE TRACKING PAD	2 EACH
	EROSION CONTROL BLANKET	474,033 S.F.
	ENKAMAT	10,469 S.F.
	BUILDING PAD	

LEGEND

SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
	CONCRETE WASHOUT	
	DRAINAGE SWALE	
	CONSTRUCTION LIMITS	

OWNER

LEVEL 7 DEVELOPMENT, LLC

4600 KINGS POINT RD
MINNETRISTA, MN 55331

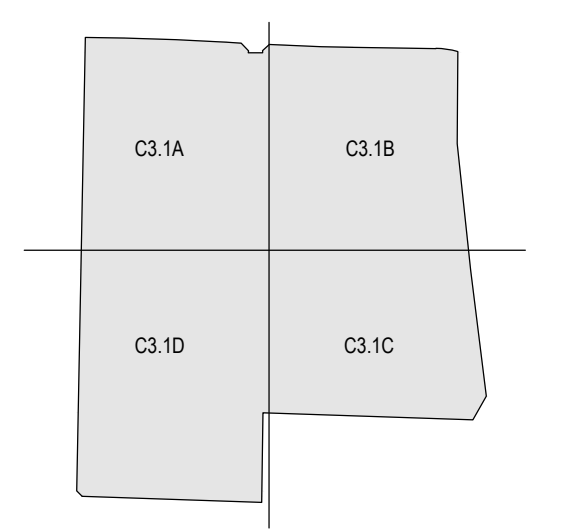
MUNICIPALITY



PROJECT

AVIENDA

KEY MAP



ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
22 APR 2020	WATERSHED SUBMITTAL	SES
01 MAY 2020	CITY SUBMITTAL	SES
27 MAY 2020	WATERSHED SUBMITTAL	SES

PROJECT MANAGER REVIEW

BY SES DATE 05.19.2020

CERTIFICATION

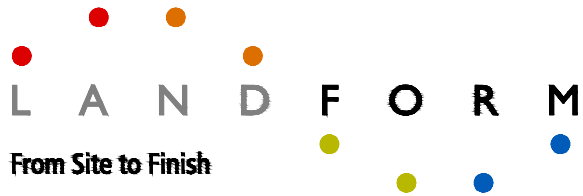
I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of MINNESOTA.

Signature of Steven E. Salomon
Steven E. Salomon, P.E.
License No. 17175 Date: 05/27/2020
Signature shown is a digital signature of the original. The digital copy of this plan on file at Landform Professional Services, LLC, Office and the digital copy of this plan on file at the City of Minneapolis, MN, Office are the same as the original.

IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

WATERSHED SUBMITTAL

MAY 27, 2020



105 South Fifth Avenue Tel: 612-252-9070
Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

FILE NAME C302SCD001.DWG

PROJECT NO. SCD14001.LEV

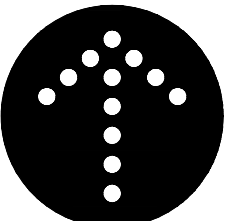
PHASE 1 GRADING, DRAINAGE, & EROSION CONTROL

C3.2

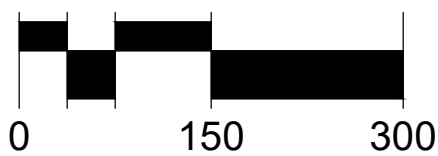
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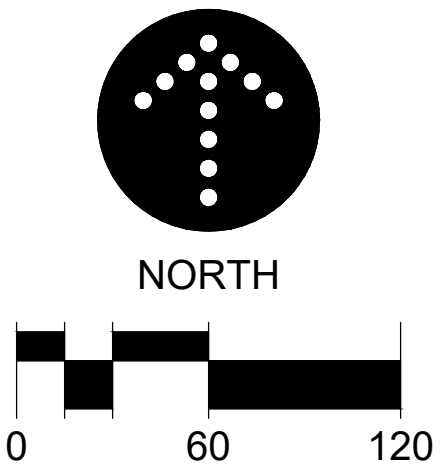
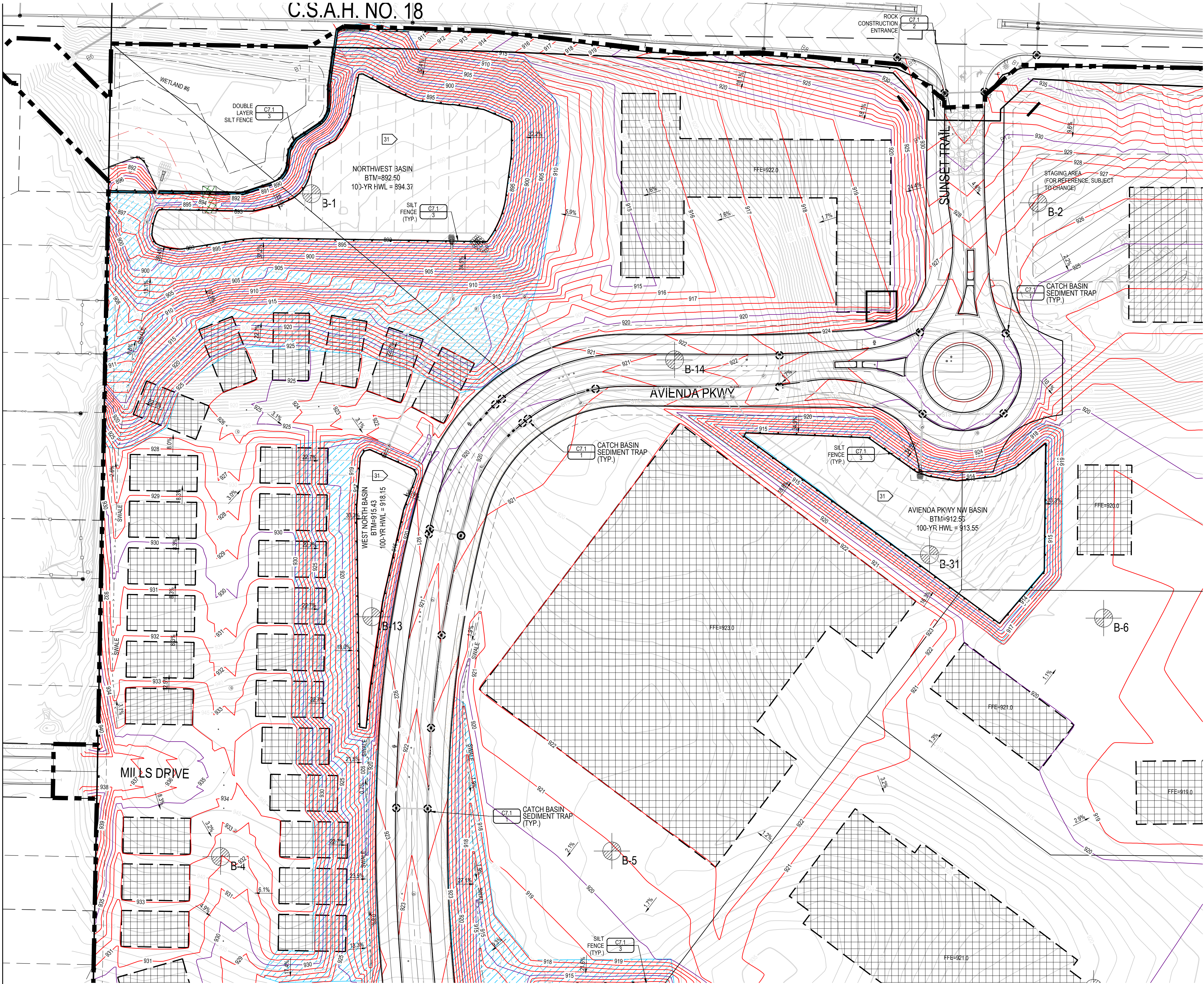


Know what's Below.
Call before you dig.



NORTH





LEGEND		
SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
	CONCRETE WASHOUT	
	DRAINAGE SWALE	
	CONSTRUCTION LIMITS	

GENERAL NOTES

- FOR CONSTRUCTION STAKING AND SURVEYING SERVICES CONTACT LANDFORM AT 612.252.9070.
- INSTALL PERIMETER SEDIMENT CONTROLS PRIOR TO BEGINNING WORK AND MAINTAIN FOR DURATION OF CONSTRUCTION. INSTALL POND / BASIN PROTECTION SEDIMENT CONTROLS WITHIN 7 DAYS OF COMPLETION OF BASIN GRADING. REMOVE PERIMETER CONTROLS AFTER AREAS CONTRIBUTING RUNOFF ARE PERMANENTLY STABILIZED AND DISPOSE OF OFF SITE.
- LIMIT SOIL DISTURBANCE TO THE GRADING LIMITS SHOWN. SCHEDULE OPERATIONS TO MINIMIZE LENGTH OF EXPOSURE OF DISTURBED AREAS.
- MANAGEMENT PRACTICES SHOWN ARE THE MINIMUM REQUIREMENT. INSTALL AND MAINTAIN ADDITIONAL CONTROLS AS WORK PROCEEDS TO PREVENT EROSION AND CONTROL SEDIMENT CARRIED BY WIND OR WATER.
- REFER TO SWPPP NOTES ON SHEET C3.5 FOR ADDITIONAL REQUIREMENTS.
- EXCAVATE PONDS AND TEMPORARY SEDIMENTATION BASINS EARLY IN THE CONSTRUCTION SEQUENCE. REMOVE SEDIMENT FROM PONDS AND BASINS PERIODICALLY AND AFTER AREAS CONTRIBUTING RUNOFF ARE PERMANENTLY STABILIZED.
- CONTRACTOR SHALL PREVENT SEDIMENT LADEN WATER FROM ENTERING INFILTRATION SYSTEMS UNTIL THE SITE IS COMPLETELY STABILIZED.
- ALL EXPOSED SOILS AREAS SHALL BE STABILIZED IMMEDIATELY TO LIMIT SOIL EROSION IN THAT PORTION OF THE SITE WHERE CONSTRUCTION HAS TEMPORARILY OR PERMANENTLY CEASED.
- TEMPORARY SEED, SOD, MULCH AND FERTILIZER SHALL MEET THE FOLLOWING SPECIFICATIONS, AS MODIFIED.

ITEM	SPECIFICATION NUMBER
SOD	MNDOT 3878
SEED	MNDOT 3876
	MIN TYPE 22-111 @ 30.5 LB/AC - TEMPORARY EROSION CONTROL
	MIN TYPE 25-151 @ 120 LB/AC - PERMANENT TURF
MULCH	MNDOT 3882
	MIN TYPE 33-261 @ 35 LB/AC - PERMANENT WETLAND BUFFER
	(MNDOT TYPE 1 @ 2 TON/AC, DISC ANCHORED)
FERTILIZER (FOR PERMANENT TURF ONLY)	MNDOT 3881
GENERAL PLACEMENT	MNDOT 2575
- SEE SITE RESTORATION SHEET FOR PERMANENT TURF AND LANDSCAPE ESTABLISHMENT.
- SCRAPE ADJACENT STREETS CLEAN DAILY AND SWEEP CLEAN WEEKLY.

GRADING NOTES

- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING GRADING.
- REFER TO THE GEOTECHNICAL REPORT PREPARED BY BRAUN INTERTEC, DATED APRIL 12, 2017, FOR ADDITIONAL INFORMATION ON BACKFILL MATERIAL AND GROUNDWATER CONDITIONS.
- REMOVE TOPSOIL FROM GRADING AREAS AND STOCKPILE SUFFICIENT QUANTITY FOR REUSE. MAINTAIN STOCKPILES WITH MAXIMUM 1V:2H SLOPES.
- REMOVE SURFACE AND GROUND WATER FROM EXCAVATIONS. PROVIDE INITIAL LIFTS OF STABLE FOUNDATION MATERIAL IF EXPOSED SOILS ARE WET AND UNSTABLE.
- AN INDEPENDENT TESTING FIRM SHALL VERIFY THE REMOVAL OF ORGANIC AND UNSUITABLE SOILS, SOIL CORRECTION, AND COMPACTION AND PROVIDE PERIODIC REPORTS TO THE OWNER.
- PLACE AND COMPACT FILL USING LIFT THICKNESSES MATCHED TO SOIL TYPE AND COMPACTION EQUIPMENT TO OBTAIN SPECIFIED COMPACTION THROUGHOUT THE LIFT.
- COMPACT COHESIVE SOILS IN PAVED AREAS TO 95% OF MAXIMUM DRY DENSITY, STANDARD PROCTOR (ASTM D698) EXCEPT THE TOP 3 FEET WHICH SHALL BE COMPACTED TO 100%. COMPACT TO 98% DENSITY WHERE FILL DEPTH EXCEEDS 10 FEET. THE 3% OF OPTIMUM MOISTURE CONTENT, IN GRANULAR SOILS ALL PORTIONS OF THE EMBANKMENT SHALL BE COMPACTED TO NOT LESS THAN 95% OF MODIFIED PROCTOR DENSITY (ASTM D1557).
- AVOID SOIL COMPACTION OF INFILTRATION PRACTICES. ANY EQUIPMENT USED IN INFILTRATION AREAS SHOULD BE SMALL SCALED AND TRACKED.
- ALL DISTURBED SOIL SURFACE AREAS, EXCEPT FOR THE AREAS UNDER THE PROPOSED STREET PAVEMENT AND THE TRAIL AND SIDEWALKS, SHALL BE DECOMPACTED TO A DEPTH OF 18-INCHES AND COVERED WITH SIX INCHES OF TOPSOIL. REFER TO RPBOWD STANDARD EROSION CONTROL NOTES FOR ADDITIONAL REQUIREMENTS.
- REFER TO SHEET C3.3 FOR PHASE 1 BASIN CROSS-SECTIONS.
- SLOPE CALLOUTS ARE VERTICAL: HORIZONTAL (V:H)

RPBOWD STANDARD EROSION CONTROL NOTES

- NATURAL TOPOGRAPHY AND SOIL CONDITIONS MUST BE PROTECTED, INCLUDING RETENTION ON SITE OF NATIVE TOPSOIL TO THE GREATEST EXTENT POSSIBLE.
- ADDITIONAL MEASURES, SUCH AS HYDRAULIC MULCHING AND OTHER PRACTICES AS SPECIFIED BY THE DISTRICT MUST BE USED ON SLOPES OF 3:1 (H:V) OR STEEPER TO PROVIDE ADEQUATE STABILIZATION.
- FINAL SITE STABILIZATION MEASURES MUST SPECIFY THAT AT LEAST SIX INCHES OF TOPSOIL OR ORGANIC MATTER BE SPREAD AND INCORPORATED INTO THE UNDERLYING SOIL DURING FINAL SITE TREATMENT WHEREVER TOPSOIL HAS BEEN REMOVED.
- CONSTRUCTION SITE WASTE SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, LITTER AND SANITARY WASTE MUST BE PROPERLY MANAGED.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL BMPs MUST BE MAINTAINED UNTIL COMPLETION OF CONSTRUCTION AND VEGETATION IS ESTABLISHED SUFFICIENTLY TO ENSURE STABILITY OF THE SITE, AS DETERMINED BY THE DISTRICT.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL BMPs MUST BE REMOVED UPON FINAL STABILIZATION.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN 7 CALENDAR DAYS AFTER LAND-DISTURBING WORK HAS TEMPORARILY OR PERMANENTLY CEASED ON A PROPERTY THAT DRAINS TO AN IMPAIRED WATER.
- SOIL SURFACES COMPACTED DURING CONSTRUCTION AND REMAINING PERVIOUS UPON COMPLETION OF CONSTRUCTION MUST BE DECOMPACTED TO ACHIEVE:

A) A SOIL COMPACTION TESTING PRESSURE OF LESS THAN 1,400 KILOPASCALS OR 200 POUNDS PER SQUARE INCH IN THE UPPER 12 INCHES OF SOIL OR
B) A BULK DENSITY OF LESS THAN 1.4 GRAMS PER CUBIC CENTIMETER OR 87 POUNDS PER CUBIC FOOT IN THE UPPER 12 INCHES OF SOIL.

IN ADDITION, UTILITIES, TREE ROOTS AND OTHER EXISTING VEGETATION MUST BE PROTECTED UNTIL FINAL REVEGETATION OR OTHER STABILIZATION OF THE SITE. REFER TO SHEET C3.6 FOR DECOMPACTION AREAS.
- THE PERMITTEE MUST INSPECT ALL EROSION PREVENTION AND SEDIMENT CONTROL FACILITIES AND SOIL STABILIZATION MEASURES TO ENSURE INTEGRITY AND EFFECTIVENESS. THE PERMITTEE MUST REPAIR, REPLACE, OR SUPPLEMENT ALL NONFUNCTIONAL BMPs WITH FUNCTIONAL BMPs WITHIN 48 HOURS OF DISCOVERY AND PRIOR TO THE NEXT PRECIPITATION EVENT UNLESS ADVERSE CONDITIONS PRECLUDE ACCESS TO THE RELEVANT AREA OF THE SITE, IN WHICH CASE THE REPAIR MUST BE COMPLETED AS SOON AS CONDITIONS ALLOW. WHEN ACTIVE LAND-DISTURBING ACTIVITIES ARE NOT UNDERWAY, THE PERMITTEE MUST PERFORM THESE RESPONSIBILITIES AT LEAST WEEKLY UNTIL VEGETATIVE COVER IS ESTABLISHED. THE PERMITTEE WILL MAINTAIN A LOG OF ACTIVITIES UNDER THIS SECTION FOR INSPECTION BY THE DISTRICT ON REQUEST.
- ACTIVITIES MUST BE CONDUCTED SO AS TO MINIMIZE THE POTENTIAL TRANSFER OF AQUATIC INVASIVE SPECIES (E.G., ZEBRA MUSSELS, EURASIAN WATERMILF, ETC.) TO THE MAXIMUM EXTENT POSSIBLE.

- STAKING OFF AND MARKING OF PROPOSED INFILTRATION FACILITIES TO PREVENT SOIL COMPACTION BY HEAVY EQUIPMENT, STOCKPILING OF MATERIALS, AND TRAFFIC. IF INFILTRATION FACILITIES ARE IN PLACE DURING CONSTRUCTION ACTIVITIES, BEST PRACTICES MUST BE DEPLOYED TO PREVENT SEDIMENT AND OTHER MATERIAL FROM ENTERING THE PRACTICES. INFILTRATION FACILITIES MUST NOT BE EXCAVATED TO WITHIN 3 FEET OF FINAL GRADE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN CONSTRUCTED AND FULLY STABILIZED. ANY ACCUMULATED SEDIMENT IN AN INFILTRATION FACILITY MUST BE REMOVED IN MANNER THAT PREVENTS COMPACTION OF THE FACILITY BOTTOM. TO PROVIDE A WELL-AERATED, HIGHLY POROUS SURFACE, THE SOILS BELOW AN INFILTRATION PRACTICE MUST BE LOOSENOED TO A MINIMUM DEPTH OF 18 INCHES PRIOR TO INSTALLATION OR PLANTING.

LEGEND

SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
	INLET PROTECTION	134 EACH
	SILT FENCE	18,000 FEET
	VEHICLE TRACKING PAD	2 EACH
	EROSION CONTROL BLANKET	474,033 S.F.
	ENKAMAT	10,469 S.F.
	BUILDING PAD	

OWNER

LEVEL 7 DEVELOPMENT, LLC

4600 KINGS POINT RD
MINNETRISTA, MN 55331

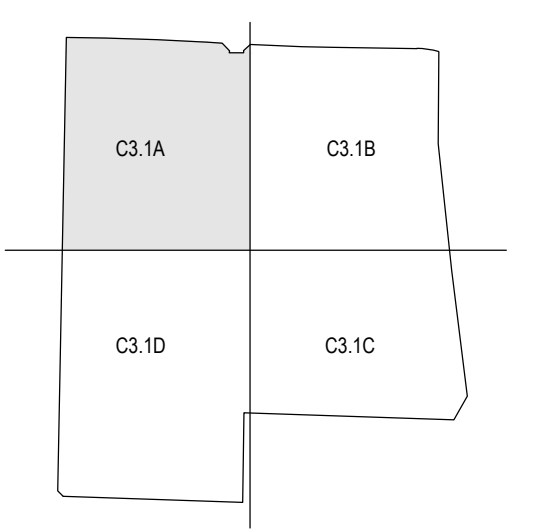
MUNICIPALITY



PROJECT

AVIENDA

KEY MAP



ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
22 APR 2020	WATERSHED SUBMITTAL	SES
01 MAY 2020	CITY SUBMITTAL	SES
27 MAY 2020	WATERSHED SUBMITTAL	SES

PROJECT MANAGER REVIEW

BY SES DATE 05.19.2020

CERTIFICATION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

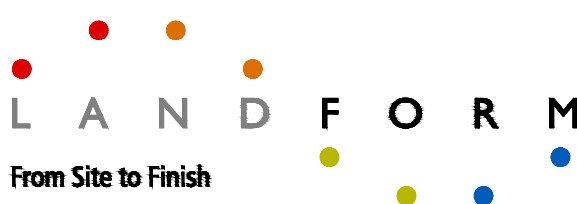
Signature
Steven E. Sabers
License No. 17175 Date: 05/27/2020

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NW PHASE 1 GRADING, DRAINAGE, & EROSION CONTROL

C3.2A

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