

SITE DEVELOPMENT PLANS

PANERA BREAD

531 W. 79th STREET

CHANHASSEN, MN

GENERAL NOTES:

A. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY, AS A CONTRACTOR TO THE SELLER/OWNER:

CORNERSTONE LAND SURVEYING, INC
6750 STILLWATER BLVD N, SUITE #1
STILLWATER, MN 55088
PHONE: 651-275-8969

CEI ENGINEERING AND ITS ASSOCIATES WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS OR OMISSIONS RESULTING FROM SURVEY INACCURACIES.

B. ALL PHASES OF SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNER / DEVELOPER SITE WORK SPECIFICATIONS.

C. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.

D. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.

E. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.

F. WARRANTY/Disclaimer: THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME; HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORANEOUS BASIS AT THE SITE.

G. SAFETY NOTICE TO CONTRACTOR: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE SAFETY OF ITS OWN EMPLOYEES, INSTRUCTORS, CONTRACTORS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.

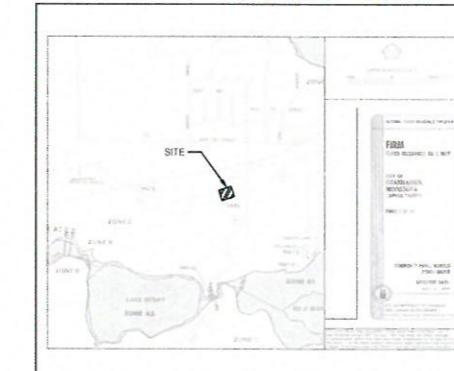
H. ALL CONSTRUCTION IN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT ENGINEER.

I. WETLANDS NOTE: ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.

J. RESIDENT ENGINEERING SERVICES: WHEN REQUESTED BY THE OWNER, RESIDENT ENGINEERING SERVICES SHALL BE PROVIDED BY THE ENGINEERS (ON A TIME AND FREQUENCY BASIS) ACCEPTABLE TO THE CITY ENGINEER FOR IMPROVEMENTS TO PUBLIC WATER MAINS, PUBLIC SEWER, AND CITY STREETS. AT THE COMPLETION OF CONSTRUCTION, THE ENGINEER SHALL CERTIFY THE CONSTRUCTION TO BE IN COMPLIANCE WITH THE PLANS AND SPECIFICATIONS. THE COST OF THESE SERVICES SHALL BE FOR THE OWNER'S EXPENSE AND SHALL BE COORDINATED WITH CEI ENGINEERING ASSOCIATES, INC. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE RESIDENT ENGINEER OF ANY PRECONSTRUCTION / CONSTRUCTION CONFERENCES AND ANY PUBLIC CONSTRUCTION 24 HOURS PRIOR TO SAID ACTION.

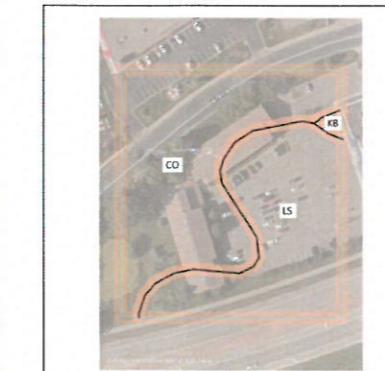
FLOOD CERTIFICATION:

THIS PROPERTY LIES WITHIN THE UNSHADDED ZONE C. AREAS OF MINIMAL FLOODING, AS SHOWN BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP FOR THE CITY OF CHANHASSEN, MINNESOTA, COMMUNITY PANEL NUMBER 270051 0005 B
EFFECTIVE DATE: JULY 2, 1979



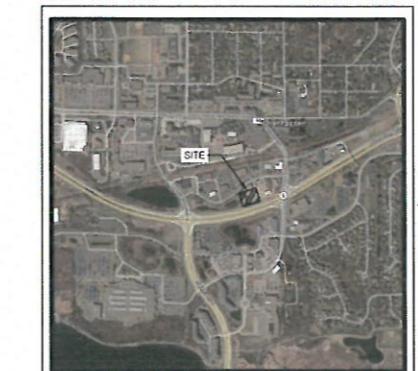
FLOOD MAP

Not to Scale



SOILS MAP

Not to Scale



VICINITY MAP

Not to Scale

PLAN INDEX:

C0 COVER SHEET
C1 DEMOLITION PLAN
C2 SITE PLAN
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C10 DETAIL SHEET 2
C11 DETAIL SHEET 3

APPROVED

CITY OF CHANHASSEN

DATE

RILEY PURGATORY BLUFF CREEK WATERSHED

RESOURCE LIST:

ENGINEERING/TRAFFIC/WATER
CITY OF CHANHASSEN
STEPHANIE SMITH, PE
7700 MARKET BLVD
CHANHASSEN, MN 55317
952-227-1165
ssmith@ci.chanhassen.mn.us

PLANNING/DEPARTMENT
CITY OF CHANHASSEN
ROBERT GENOLES, PLANNER
7700 MARKET BLVD
CHANHASSEN, MN 55317
952-227-1138
bgenoles@ci.chanhassen.mn.us

WATERSHED
RILEY PURGATORY BLUFF CREEK
VANCE STRONG, DO
7700 MARKET BLVD
CHANHASSEN, MN 55317
952-227-1168
vstrong@ci.chanhassen.mn.us

PLANNING/ZONING
CITY OF CHANHASSEN
KATE ANKESON (CDD)
7700 MARKET BLVD
CHANHASSEN, MN 55317
952-227-1138
kaankeson@ci.chanhassen.mn.us

DEVELOPER:

PANERA, LLC
3630 SOUTH GEYER ROAD, SUITE 100
ST. LOUIS, MO 63127
PHONE: 314-962-2609
BRIAN BARNARD
SR. DEVELOPMENT PROJECT MANAGER

ARCHITECT:
ARCVISION, INC.
1950 CRAIG ROAD, SUITE 300
ST. LOUIS, MO 63127
PHONE: 314-962-2325
MATTHEW HINCHCLIFFE
MHINCHCLIFFE@ARCV.COM

CIVIL ENGINEER:

CEI ENGINEERING ASSOCIATES, INC.
2025 CENTRE POINTE BLVD,
SUITE 210
MENDOTA HEIGHTS, MN 55120
PHONE: 651 452-8960
ALAN CATCHPOOL, PE, CPESC

CITY OF CHANHASSEN
RECEIVED
DEC 01 2017

CHANHASSEN PLANNING DEPT

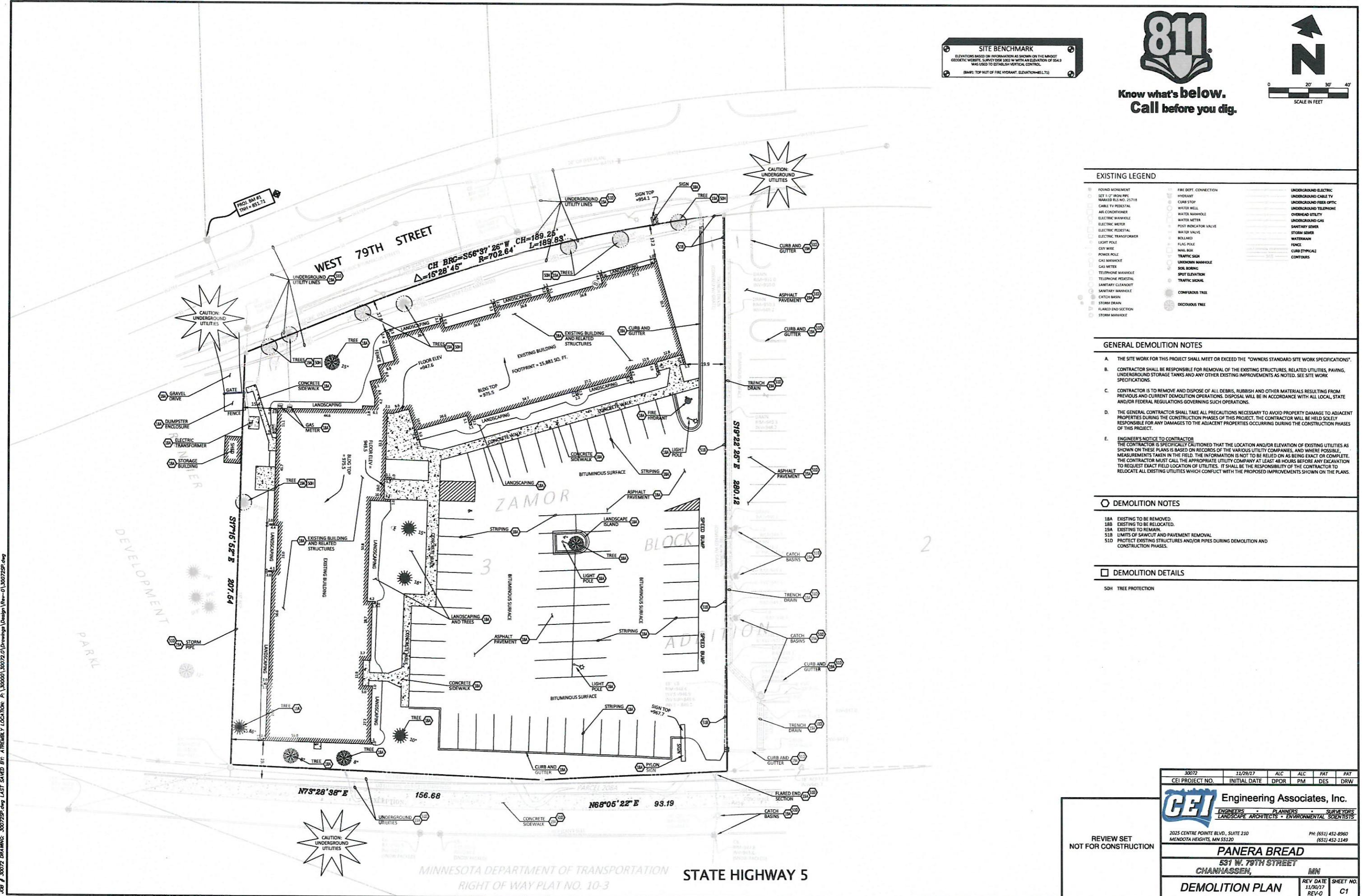
CEI Engineering
Associates, Inc.
ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS
2025 Centre Pointe Blvd., Suite 210 Ph: (651) 452-8960
Mendota Heights, MN 55120 (651) 452-1149

Arkansas * California * Minnesota * Pennsylvania * Texas

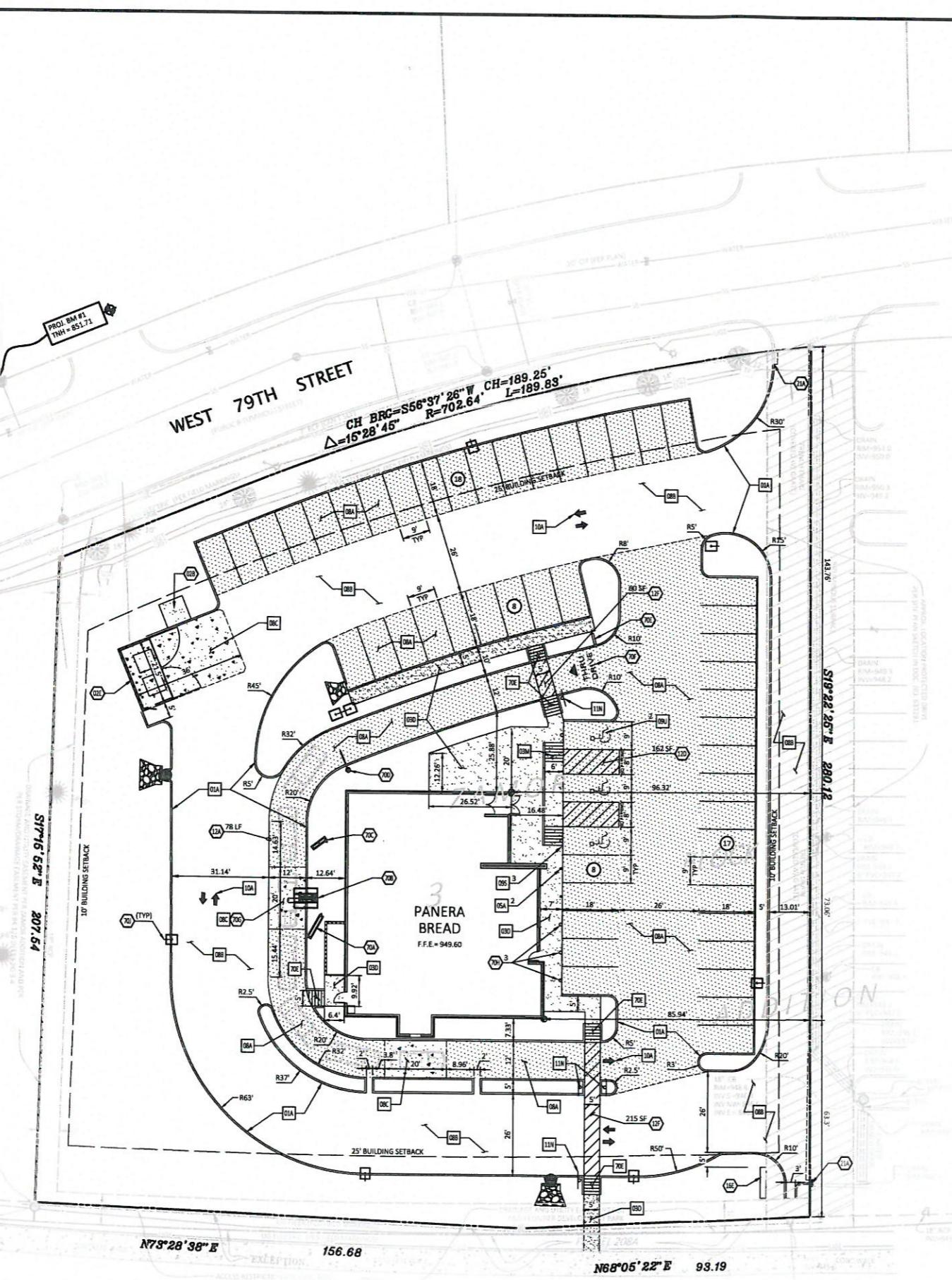
REVIEW SET
NOT FOR CONSTRUCTION

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DATE 11/30/17
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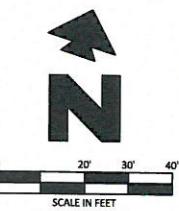
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SITE DATA		
OVERALL DATA AREA	63,153 S.F.	1.45 AC
EXISTING IMPERVIOUS AREA	44,225 S.F.	70.03 %
EXISTING PERVIOUS AREA	18,928 S.F.	29.97 %
PROPOSED BUILDING AREA	4,486 S.F.	7.10 %
PARKING LOT AREA	36,146 S.F.	57.24 %
TOTAL IMPERVIOUS AREA	40,632 S.F.	64.34 %
PROPOSED PERVIOUS AREA	22,521 S.F.	35.66 %
ALLOWABLE IMPERVIOUS COVER		65%
ZONING:	BH (HIGHWAY BUSINESS DISTRICT)	
PARKING	REQUIRED	PROVIDED
9'x18' STALLS - 1 SPACE/80 SF	56	48
HANDICAP STALLS	3	3
TOTAL PARKING	56	51
BLDG. HEIGHT	50' MAX	
BLDG. SPECIFIC USES	BAKERY/ RESTAURANT	



SITE BENCHMARK
ELEVATIONS BASED ON INFORMATION AS SHOWN ON THE MINNESOTA GEODETIC SURVEY DATUM. SURVEY DISK 0022 W WITH AN ELEVATION OF 854.5 WAS USED TO ESTABLISH VERTICAL CONTROL.
(BMF: TOP NUT OF FIRE HYDRANT, ELEVATION 851.71)



NOTE:
SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

EXISTING LEGEND

FOUND MONUMENT SET	HYDRANT	UNDERGROUND ELECTRIC
SET IN BLUFF	CAVE STOP	UNDERGROUND FIBER OPTIC
MARKED NO. 25716	WATER WELL	UNDERGROUND PHONE
CABLE TV PEDESTAL	WATER MANHOLE	OVERHEAD UTILITY
AIR CONDITIONER	WATER METER	UNDERGROUND GAS
ELECTRIC MANHOLE	POWER REGULATOR VALVE	SANITARY SEWER
ELECTRIC METER	WATER VALVE	SYSTEM SEWER
ELECTRIC PEDESTAL	ROLLING	WATERMAIN
ELECTRIC TRANSFORMER	FLAT POLE	FENCE
LIGHT POLE	MAIL POLE	CURB (TYPICAL)
GUY WIRE	TRAFFIC SIGN	CONTOURS
POWER POLE	UNKNOWN MANHOLE	
CASING PIPE	SOIL BORING	
CASING BITE	SPOT ELEVATION	
TELEPHONE MANHOLE	TRAFFIC SIGNAL	
TELEPHONE PEDESTAL	CONIFEROUS TREE	
SANITARY CLEANOUT	DECIDUOUS TREE	
SANITARY MANHOLE		
CATCH BASIN		
STORM DRAIN		
FLARED END SECTION		
STORM MANHOLE		

PROPOSED

PROPERTY LINE/RIGHT OF WAY LINE
CONCRETE CURB AND GUTTER, SEE DETAIL 01A.
BUILDING CONTROL POINT
PROPOSED PARKING SPACES
LIMITS OF SIDEWALKS AND CONCRETE APRONS (PER ARCH. PLANS)

GENERAL SITE NOTES

- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL CURB RETURN RADIU SHALL BE 3' OR 10', AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS, ALL CURB AND GUTTER ADJACENT TO ASPHALT PAVING SHALL BE INSTALLED PER DETAIL 01A. PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE PLAN. ALL PARKING LOT STRIPING INCLUDING ACCESSIBLE AND VAN ACCESSIBLE SPACES SHALL BE PAINTED PER THE PLAN.
- ALL PARKING LOT SIGN BASE SUPPORTS SHALL BE INSTALLED PER DETAIL 12F.
- ALL ACCESSIBLE PARKING SPACES SHALL HAVE SIGNAGE INSTALLED PER DETAIL 095.
- THE PAVING CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE AND IRRIGATION CONTRACTORS TO ENSURE ALL SLEEVING IS INSTALLED PRIOR TO PAVING.
- ALL PAVING, SURGRADE PREPARATION AND EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT PROVIDED BY BRAUN INTEC CORPORATION, PROJECT NUMBER B1702295 DATED JUNE 22, 2017.

SITE DETAILS

- 01A TYPE A CONCRETE CURB AND GUTTER
- 02A CONCRETE SIDEWALK
- 03M WHEELCHAIR RAMP IN SIDEWALK
- 05A GUARD POST
- 08A STANDARD DUTY ASPHALT PAVING
- 08B HEAVY DUTY ASPHALT PAVING
- 08C HEAVY DUTY CONCRETE PAVING
- 09S ACCESSIBLE / VAN ACCESSIBLE PARKING SIGN
- 09U ACCESSIBLE PARKING SYMBOL
- 10A TRAFFIC FLOW ARROW
- 11N PEDESTRIAN CROSSING SIGN
- 70E WHEELCHAIR RAMP IN SIDEWALK WITH SIDE CURB.

SITE NOTES

- 02B TRANSFORMER PAD (PER ELEC. CO. AND/OR ARCH. PLANS).
- 12A TRASH DUMPSTER ENCLOSURE (PER ARCH. PLANS).
- 12D 4 INCH TRAFFIC YELLOW LANE STRIPE (SEE LENGTH INDICATED AT SYMBOL).
- 12E 4 INCH WIDE PAINTED YELLOW STRIPES, 2.0 FOOT D.O.C. @ 45 DEGREES (SEE SIZE INDICATED AT SYMBOL).
- 12F PEDESTRIAN CROSSING-4 INCH WIDE PAINTED YELLOW STRIPES, 2.0 FOOT D.O.C. @ 45 DEGREES (SEE SIZE INDICATED AT SYMBOL).
- 16A MONUMENT SIGN (PER ARCH. PLANS).
- 21A TAPER CURB TO MATCH EXISTING CURB.
- 21B TAPER CURB TO MATCH EXISTING CURB TO 0 INCHES OVER 2 FEET.
- 70A MENU BOARD (PER ARCH. PLANS).
- 70B MENU CANOPY (PER ARCH. PLANS).
- 70C PREVIEW BOARD (PER ARCH. PLANS).
- 70D CLEARANCE BAR (PER ARCH. PLANS).
- 70E DRIVE-THRU SIGN (PER ARCH. PLANS).
- 70F DRIVE-THRU PAVEMENT MARKING (PER ARCH. PLANS).
- 70G RAPID PICK-UP SIGN (PER ARCH. PLANS).
- 70H LIGHT POLE (PER ARCH. PLANS).

30072 11/28/07 AIC AIC PAT PAT
CEI PROJECT NO. INITIAL DATE DPOR PM DES DRW

CEI Engineering Associates, Inc.
ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS

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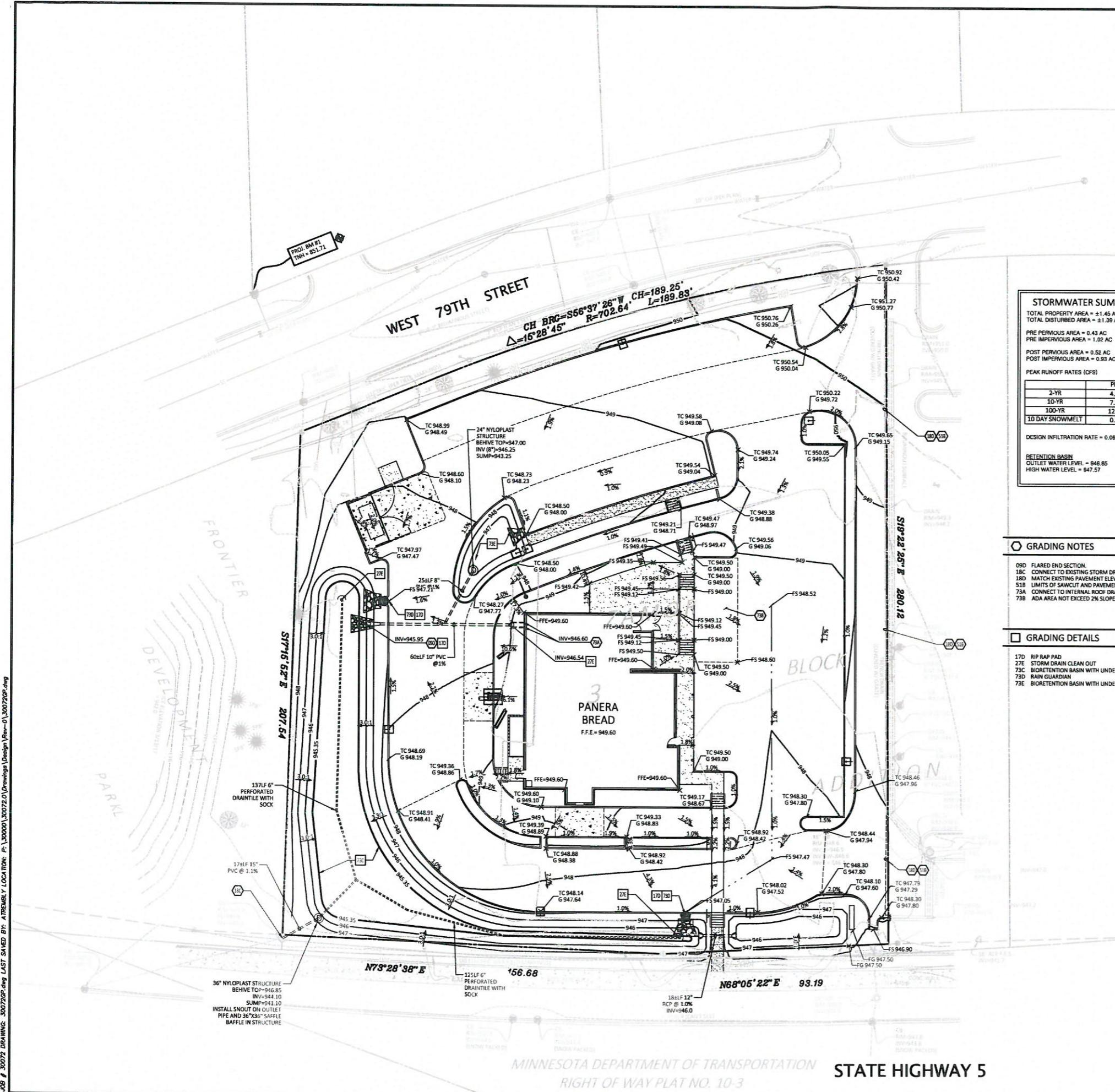
PANERA BREAD

531 W. 79TH STREET

CHANHASSEN, MN

SITE PLAN

REV DATE 11/30/17
C2



SITE BENCHMARK
ELEVATIONS BASED ON INFORMATION AS SHOWN ON THE MNDOT
GEODETIC WEBSITE. SURVEY DISK 1022 W/ AN ELEVATION OF 954.9
WAS USED TO ESTABLISH VERTICAL CONTROL.
(BMAP: TOP NUT OF FIRE HYDRANT, ELEVATION=851.71)

The 811 logo is a stylized, bold number '811' with a registered trademark symbol (®) at the bottom right. The '1' has a small '1' underneath it, and the '8' has a small '8' underneath it. The logo is set against a dark background.

**Know what's below.
Call before you dig.**

E:
ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF
CHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING
ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

EXISTING LEGEND

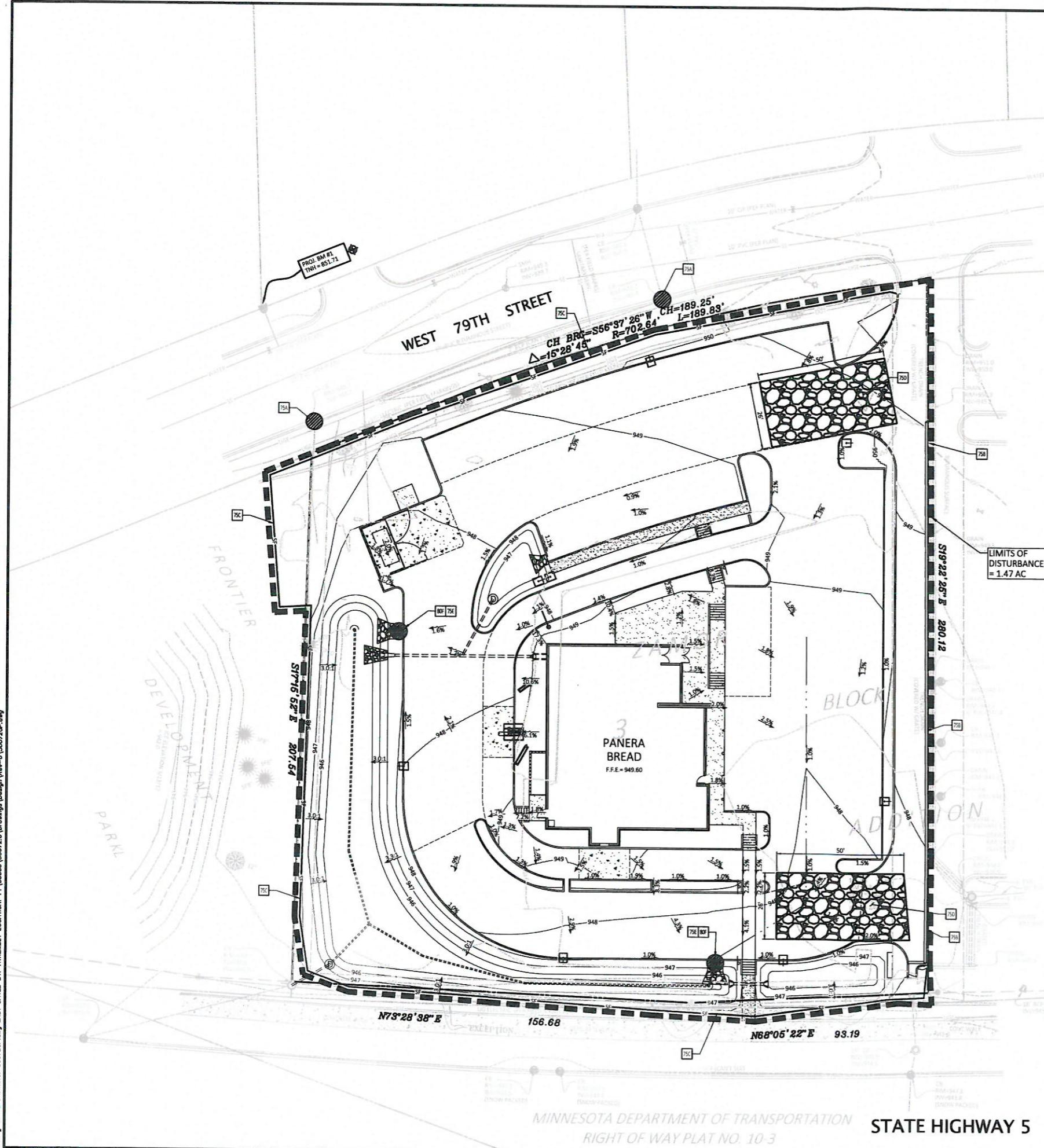
- FIRE DUTY CONNECTION
- HYDRANT
- CURB STOP
- WATER WELL
- WATER MAINHOLE
- WATER METER
- POST INDICATOR VALVE
- WATER VALVE
- BOLLARD
- FLAG POLE
- MAIL BOX
- TRAFFIC SIGN
- UNKNOWN MAINHOLE
- SOIL BORING
- SPOT ELEVATION
- TRAFFIC SIGNAL
- CONFEROUS TREE
- DECIDUOUS TREE
- UNDERGROUND ELECTRIC
- UNDERGROUND CABLE TV
- UNDERGROUND FIBER OPTIC
- UNDERGROUND TELEPHONE
- OVERHEAD UTILITY
- UNDERGROUND GAS
- SANITARY SEWER
- STORM SEWER
- WATERMANN
- FENCE
- CURB [TYPICAL]
- CONTOURS

PROPOSED LEGEND

RTY LINE/RIGHT OF WAY LINE
E BREAK
OUR ELEVATIONS
M DRAIN
ELEVATIONS:
TOP OF CURB
ITTER
NISH FLOOR ELEVATION
NISHED SURFACE

GENERAL GRADING NOTES

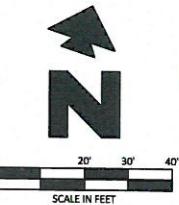
- TO INSTALLATION OF STORM OR SANITARY SEWER, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER IS NOT NOTIFIED OF DESIGN CONFLICTS.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND 4" OF TOPSOIL APPLIED. IF INADEQUATE TOPSOIL IS NOT AVAILABLE ON-SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL AS SPECIFIED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS (SEE LANDSCAPE PLAN FOR SEED MIX AND PROPER APPLICATION RATE). ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS: ALL STORM DRAIN PIPE BEDDING SHALL BE INSTALLED PER DETAIL 2BA. ALL STORM DRAIN PIPES ARE MEASURED FROM CENTER OF STRUCTURES AND ENDS OF FLARED END SECTIONS.
- ACCESS ROADS WILL NEED TO BE MAINTAINED & KEPT TO SUPPORT THE WEIGHT OF EMERGENCY VEHICLES DURING ALL CONSTRUCTION.
- RUNOFF AND SEDIMENT SHOULD BE KEPT COMPLETELY AWAY FROM INFILTRATION AREAS UNTIL ALL UPSTREAM AREAS ARE CONSTRUCTED AND FULLY STABILIZED.
- INFILTRATION AREAS SHOULD BE CLEARLY MARKED TO KEEP CONSTRUCTION EQUIPMENT AWAY DURING INSTRUCTION.
- INFILTRATION AREAS SHOULD BE VIGOROUSLY PROTECTED FROM EROSION, SEDIMENT, AND RUNOFF WITH APPROPRIATE BMPs.
- ONLY LOW IMPACT TRACK EQUIPMENT SHOULD BE USED WITHIN THE INFILTRATION AREAS.



STATE HIGHWAY 5

A rectangular plaque with a black border. The top half contains the text "SITE BENCHMARK" in a bold, sans-serif font. The bottom half contains survey information: "ELEVATIONS BASED ON INFORMATION AS SHOWN ON THE MNDOT GEODETIC WEBSITE. SURVEY DISK 1022 W WITH AN ELEVATION OF 954.9 WAS USED TO ESTABLISH VERTICAL CONTROL." Below this text is a small circular icon containing a fire hydrant symbol. At the bottom of the plaque is the text "(BM#1: TOP NUT OF FIRE HYDRANT. ELEVATION=951.71)".

**Know what's below.
Call before you dig.**



TE: ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ARCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

EXISTING LEGEND

FOUND MONUMENT	FIRE DFT. CONNECTION	UNDERGROUND ELECTRIC
SET 1/2" IRON PIPE	HYDRANT	UNDERGROUND CABLE TV
MARKED RLS NO. 25718	CURB STOP	UNDERGROUND FIBER OPTIC
CABLE TV PEDESTAL	WATER WELL	UNDERGROUND TELEPHONE
AIR CONDITIONER	WATER MANHOLE	OVERHEAD UTILITY
ELECTRIC MANHOLE	WATER METER	UNDERGROUND CA
ELECTRIC METER	POST INDICATOR VALVE	SANITARY SEWER
ELECTRIC PEDESTAL	WATER VALVE	STORM SEWER
ELECTRIC TRANSFORMER	BOLLARD	WATERMAIN
LIGHT POLE	FLAG POLE	FENCE
GUY WIRE	MAIL BOX	CURB (TYPICAL)
POWER POLE	TRANS. SIGN	CONTOURS
GAS MANHOLE	UNKNOWN MANHOLE	
GAS METER	SOIL BORING	
TELEPHONE MANHOLE	SPOT ELEVATION	
TELEPHONE PEDESTAL	TRAFFIC SIGNAL	
SANITARY CLEANOUT		
SANITARY MANHOLE		
CATCH BASIN		
STORM DRAIN		
FLARED END SECTION		
	CONFIDENTIAL TREE	
	DECIDUOUS TREE	

PROPOSED

— PROPERTY LINE/RIGHT OF WAY LINE
 — LIMITS OF DISTURBANCE
 — SF — SILT FENCE
 - - - GRADE BREAK
 — XXX — CONTOUR ELEVATIONS
 - - - - - STORM DRAIN
 — INT'L PROTECTION —

GENERAL EROSION NOTES

- A. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF MINNESOTA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- B. THE TEMPORARY PARKING AND STORAGE AREA SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AREA, EQUIPMENT CLEANING AREA, EMPLOYEE BREAK AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS AND TOILET FACILITIES. THE EXACT LOCATIONS SHALL BE COORDINATED WITH THE OWNER'S CONSTRUCTION MANAGER.
- C. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT BETWEEN THESE MATERIALS AND STORM WATER THAT IS DISCHARGED FROM THE SITE.
- D. MAINTAIN ON THE SITE OR HAVE READILY AVAILABLE SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS TO CONTAIN AND CLEAN UP OIL OR CHEMICAL SPILLS AND LEAKS.
- E. DUST ON THE SITE SHALL BE CONTROLLED BY SPRAYING WATER ON DRY AREAS OF THE SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- F. NO RUBBISH, TRASH, GARBAGE OR OTHER SUCH MATERIALS SHALL BE DISCHARGED INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- G. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
- H. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL STOP FOR AT LEAST 21 DAYS, SHALL BE TEMPORARILY SEEDED WITHIN 7 DAYS.
- I. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEDED. THESE AREAS SHALL BE SEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE LANDSCAPING PLAN.
- J. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. THE EXACT LOCATIONS SHALL BE COORDINATED WITH THE OWNERS CONSTRUCTION MANAGER.
- K. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- L. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AFTER THE STABILIZATION OF THE SITE AND ALSO ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS.
- M. IF SOIL STOCKPILING IS EMPLOYED ON THE SITE, SILT FENCES SHALL BE USED TO HELP CONTAIN THE SEDIMENT.
- N. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- O. SEDIMENT BASINS ARE ATTRACTIVE TO CHILDREN AND CAN BE VERY DANGEROUS. IN ALL CASES, LOCAL ORDINANCES AND REGULATIONS REGARDING HEALTH AND SAFETY MUST BE ADHEERED TO.
- P. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER FINAL STABILIZATION. FINAL STABILIZATION HAS OCCURRED WHEN ALL SOIL DISTURBING ACTIVITIES ARE COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% OF THE COVER FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES HAS BEEN EMPLOYED.
- Q. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) TO HELP PREVENT EROSION AND STORM WATER POLLUTION.
- R. ALL OFF-SITE CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACKFILLING OF TRENCHES FOR STORM DRAINS & UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

GENERAL EROSION NOTES CONT'D

Maintenance
ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT, AND SHOULD BE CLEANED AND REPAVED AS NECESSARY.

1. BALE INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR SHALL BE REPLACED IF THEY SHOW SIGNS OF DETERIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED AND RESEEDED AS NEEDED.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-THIRD TO ONE-HALF THE HEIGHT OF THE SILT FENCE.
4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT IN THE SEDIMENTATION BASINS SHALL NOT EXCEED THE SEDIMENTATION CLEANOUT LEVEL.
7. THE EMBANKMENT OF THE SEDIMENTATION BASIN SHALL BE CHECKED REGULARLY TO INSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR

EROSION DETAILS

- 75A DANDY BAG INLET PROTECTION
- 75B SWP-CI (BIG RED) OR APPROVED EQUAL
- 75C SILT FENCE (PER CITY DETAIL 5300)
- 75D ROCK CONSTRUCTION ENTRANCE (PER CITY DETAIL 5301)
- 75E CATCH BASIN SEDIMENT TRAP (PER CITY DETAIL 5302A)
- 75F 75A MODIFIED SILT FENCE (W/CTE) (PER CITY DETAIL 5302B)

NPDES CONSTRUCTION ACTIVITY REQUIREMENTS

- PERFORMANCE REQUIREMENTS
 - STANDARDS FOR INSPECTION AND MAINTENANCE OF BEST MANAGEMENT PRACTICES (BMPs), AS IDENTIFIED IN THE MPCA EROSION AND SEDIMENTATION CONTROL MANUAL.
 - FOLLOW ALL PERMIT REQUIREMENTS, THE PROJECT-SPECIFIC STORM WATER POLLUTION PREVENTION PLAN (SWPPP).
 - PROVIDE AT LEAST ONE CERTIFIED INSTALLER FOR EACH CONTRACTOR OR SUBCONTRACTOR TO OVERSEE ALL INSTALLATION AND MAINTENANCE OF BMPs AND IMPLEMENTATION OF THE SWPPP. IN ADDITION, PROVIDE AT LEAST ONE CERTIFIED INDIVIDUAL TO CONDUCT INSPECTION AND MAINTENANCE OF ALL EROSION PREVENTION AND SEDIMENTATION BMPs IN ACCORDANCE WITH THE REQUIREMENTS OF THE PERMIT. EVIDENCE OF CERTIFICATION OF EACH INDIVIDUAL SHALL BE FURNISHED BY THE CONTRACTOR AT THE PRECONSTRUCTION MEETING.
 - DO NOT BEGIN CLEARING, GRADING, OR OTHER WORK INVOLVING DISTURBANCE OF GROUND SURFACE COVER UNTIL APPLICABLE PERMITS HAVE BEEN OBTAINED. OBTAIN CONSTRUCTION STORMWATER PERMIT FROM THE MPCA.
 - INSTALL ALL TEMPORARY AND PERMANENT BMPs AT THE PROJECT SITE AS IDENTIFIED BY THE SWPPP, AND ON-SITE AND OFF-SITE SOIL EROSION, TO MINIMIZE ON-SITE AND OFF-SITE SEDIMENTATION, AND TO MAINTAIN SOIL COMPACTION AND REVEGETATION. ADDITIONAL BMPs MAY BE NECESSARY TO ACHIEVE PERMIT COMPLIANCE OR THE PROVISIONS OF THIS PART, WHICH SHALL BE TAKEN AT NO COST TO THE OWNER.
 - TIMING: INSTALL BMPs IDENTIFIED IN THE SWPPP PRIOR TO DISTURBANCE OF SURFACE COVER AND BEFORE PRECIPITATION OCCURS. FOLLOW PROJECT PHASING INDICATED IN SWPPP.
 - MAINTENANCE: MAINTAIN TEMPORARY PREVENTIVE MEASURES UNTIL PERMANENT MEASURES HAVE BEEN ESTABLISHED TO 90%. PERMIT TERMINATION MAY BE REQUESTED AFTER 70% VEGETATIVE COVER ACROSS THE ENTIRE PROJECT SITE HAS BEEN ESTABLISHED.
 - TEMPORARY SEDIMENT BASINS AND TRAPS: IN THE EVENT THAT TEMPORARY SEDIMENTATION BASINS WILL BE USED, CONSTRUCT BASINS CONCURRENTLY WITH THE START OF DISTURBING ACTIVITIES. DIRECT STORMWATER RUNOFF FROM LOCALIZED WATERSHEDS INTO THE BASIN. MULCH, SEED, OR BOTH THE EXPOSED SITE SLOPES OF THE BASINS AS SOON AS POSSIBLE, BUT WITHIN 14 DAYS AT THE LONGEST.
 - CONSTRUCTION SITE VEHICLE ENTRY/EXIT: PRIOR TO BEGINNING WORK, INSTALL TEMPORARY CONSTRUCTION EXITS AT EACH POINT WHERE VEHICLES EXIT THE CONSTRUCTION SITE. USE A ROCK CONSTRUCTION EXIT (SEE PLANS FOR DETAIL).
 - PRIOR TO BEGINNING WORK, COMPLETE THE FOLLOWING:
 - CONTROL DRAINAGE AND EROSION ON THE SITE, AND MARK OR OTHERWISE DELINEATE AREAS ON THE SITE TO BE DISTURBED.
 - ESTABLISH SITE LOCATION OF ANY PORTABLE TOILET, FUELING AREA, SPILL KIT LOCATION, CONCRETE WASHOUT AREA, HAZARDOUS MATERIAL HANDLING AREA, LITTER CONTROL DEVICE AREA, STAGING AREA, STOCKPILE AREA AND OTHER SWPP-D designATED AREAS.
 - ESTABLISH TRAFFIC FLOW AND PATTERNS, INCLUDING HAUL ROADS, TO MINIMIZE SOIL DISTURBANCE, TRACKING, COMPACTION, AND TO PRESERVE NATIVE AND EXISTING VEGETATION.
 - MARK/STAKE AND MAINTAIN SENSITIVE AREAS DELINEATED ON THE SWPPP TO PREVENT DISTURBANCE, COMPACTION, EROSION AND SEDIMENTATION OF SENSITIVE AREAS. USE MEASURES SUCH AS HAND CLEARING AND GRUBBING, LIMITING BARE SOIL EXPOSURE TIME, EXPEDITING CONSTRUCTION ACTIVITIES, AND IMMEDIATELY ESTABLISHING FINAL VEGETATION TO MINIMIZE SEDIMENT LOSS POTENTIAL IN THESE AREAS. INSPECT THESE AREAS AT EACH INSPECTION TO ENSURE AREAS ARE BEING PROTECTED FROM SEDIMENTATION AND SEDIMENTATION. ADDITIONAL MEASURES TO PREVENT FOULING OF PERMANENT STORMWATER BMPs MAY BE NECESSARY, AND SHOULD BE IMPLEMENTED TO MAINTAIN DESIGN OPERABILITY AT PROJECT TURNOVER.
 - MAINTAIN PRECIPITATION RECORDS ON SITE FOR USE IN DETERMINING APPLICABLE PRECIPITATION EVENTS. USE ONE OF THE FOLLOWING ONLINE SOURCES (WHICH MAINTAINS AN ELECTRONIC RECORD OF EVENTS) OR INSTALL AN ON SITE RAIN GAUGE AND KEEP A DAILY WEATHER LOG ON SITE. INDICATE THE SOURCE OF THE WEATHER DATA IN THE SWPPP MATERIALS.
 - COMPLETE PERIODIC REQUIRED STORMWATER INSPECTIONS AS IDENTIFIED BY THE PERMIT (WEEKLY ROUTINE INSPECTIONS AND PRECIPITATION EVENTS). INSPECTIONS SHALL CONTINUE PERIODICALLY UNTIL TERMINATION OF THE PERMIT AS DESCRIBED BY PART 1.5(H).
 - MAKE CORRECTIVE ACTIONS TO FINDINGS OF PERIODIC INSPECTIONS, AS SELF-IDENTIFIED ON PERIODIC INSPECTIONS, OR AS IDENTIFIED BY REGULATOR INSPECTIONS WITHIN 14 CALENDAR DAYS. MAINTAIN CORRECTIVE ACTION RECORDS ON SITE AND PROVIDE AS REQUESTED BY REGULATOR STAFF.
 - UPDATE SWPPP AS OFTEN AS NEEDED TO REFLECT REAL-TIME SITE CONDITIONS AND BMPs CURRENTLY IN PLACE. UPDATE LOCATIONS OF SOLID WASTE CONTAINERS, ON-SITE FUELING AND CONCRETE WASHING AS CONDITIONS AT THE SITE CHANGE. THE UPDATED SWPPP SHALL BE POSTED AT THE PROJECT SITE AND BE MADE AVAILABLE UPON REQUEST TO REGULATOR STAFF.
 - STORM WATER RUNOFF: CONTROL INCREASED STORM WATER RUNOFF DUE TO DISTURBANCE OF SURFACE COVER DUE TO CONSTRUCTION ACTIVITIES FOR THIS PROJECT:
 - PREPARE RUNOFF INTO PROJECT AND ADJACENT STORM AND SANITARY SEWER SYSTEMS, INCLUDING CONSTRUCTION ACTIVITIES WHICH EXCEED THE ACTUAL CAPACITY OR AMOUNT ALLOWED BY AUTHORITIES HAVING JURISDICTION, WHICH EVER IS LESS.
 - ANY STORM WATER DISCHARGE FROM DISTURBED AREAS MUST BE VISIBLE FREE OF SEDIMENT AND ONLY CONTAIN STORMWATER OR OTHER PERMIT-AUTHORIZED DISCHARGES. TURBO OR SEDIMENT-LADEN WATER MUST BE TREATED PRIOR TO DISCHARGE (SEE PART 1.4(U) FOR DETAILS).
 - INLET PROTECTION REMOVED IN ACCORDANCE WITH THE PERMIT FOR THE PURPOSES OF PUBLIC SAFETY MUST BE REINSTALLED AS SOON AS FEASIBLE AFTER CONCLUSION OF THE EVENT INITIATING REMOVAL.
 - STORMWATER AND OTHER DISCHARGES FROM THE SITE MAY NOT BE DISCHARGED TO THE SANITARY SEWER.
 - EROSION ON SITE: MINIMIZE WIND, WATER, AND VEHICULAR EROSION OF SOIL ON PROJECT SITE DUE TO CONSTRUCTION ACTIVITIES FOR THIS PROJECT.
 - CONTROL MOVEMENT OF SEDIMENT AND SOIL FROM TEMPORARY STOCKPILES OF SOIL.
 - STOCKPILES SHALL NOT BE PLACED IN NATURAL BUFFERS OR SURFACE WATERS UNLESS THERE IS A BYPASS IN PLACE. STOCKPILES SHALL BE STABILIZED WITH TEMPORARY BMPs BY THE END OF THE WORK DAY OR SHIFT DURING WHICH IT WAS CREATED.
 - IF UNFEASIBLE OR OTHERWISE PROJECT-SPECIFIED, TOPSOIL SHALL BE PRESERVED FOR SITE RESTORATION AND REVEGETATION PURPOSES, AND SHALL BE PROTECTED FROM WIND OR WATER EROSION AS DESCRIBED ABOVE.
 - STOCKPILES TRANSPORTED OFF-SITE SHALL BE COVERED TO PREVENT WIND EROSION AND OFF-SITE DEPOSITION.
 - CONTROL AND MINIMIZE TRAFFIC AND TRAFFIC PATHS THROUGHOUT PROJECT SITE TO MINIMIZE TRACKING, DISTURBANCE AND COMPACTION. PREVENT DEVELOPMENT OF TRAFFIC AND VEHICULAR TRAFFIC.
 - IMMEDIATELY STABILIZE AREAS WHEN CONSTRUCTION ACTIVITY IN AN AREA HAS TEMPORARILY CEASED OR ENDED AND WILL NOT RESUME FOR AT LEAST 14 CALENDAR DAYS.
 - IF EROSION, COMPACTION OR DEVEGETATION OCCURS DUE TO NON-COMPLIANCE WITH THESE REQUIREMENTS, RESTORE IMPACTED AREAS AT NO COST TO OWNER.
 - EROSION OFF SITE: PREVENT EROSION OF SOIL AND DEPOSITION OF SEDIMENT ON OTHER PROPERTIES CAUSED BY WATER OR SOILS LEAVING THE PROJECT SITE DUE TO CONSTRUCTION ACTIVITIES FOR THIS PROJECT.
 - PREPVENT WINDBLOWN SOIL FROM LEAVING THE PROJECT SITE. SOILS TRANSPORTED OFF-SITE SHALL BE COVERED TO PREVENT WIND EROSION AND OFF-SITE DEPOSITION. ACTIVITIES SUCH AS GRINDING, SANDING, CUTTING AND BLASTING SHALL BE CONDUCTED IN A MANNER SO AS TO MINIMIZE FUGITIVE DUST, AND TO MINIMIZE ACCUMULATION ON SOILS TO BE VEGETATED, AND AREAS (E.G. CURB CUTOUTS) THAT MAY BE A CONDUIT OF STORMWATER.
 - PREVENT TRACKING OF MUD ONTO PUBLIC ROADS OUTSIDE SITE. IF INSTALLATION AND MAINTENANCE OF SITE-IDENTIFIED BMPs IS NOT SUFFICIENT TO PREVENT TRACKING, ADDITIONAL PREVENTIVE MEASURES SHALL BE PROVIDED AS REQUESTED BY OWNER.
 - STREET SWEEPING: SWEEP OR OTHERWISE REMOVE ALL SOIL AND SEDIMENT TRACKED OR OTHERWISE DEPOSITED ON PUBLIC OR PRIVATE PAVED AREAS ON A DAILY BASIS. USE MECHANICAL METHODS TO REMOVE SOLIDS FIRST, FOLLOWED BY WET METHODS, ONLY AS NEEDED.
 - PREVENT MUD AND SEDIMENT FROM FLOWING ONTO SIDEWALKS AND PAVEMENTS.
 - WATER DISCHARGED FROM THE PROJECT SITE MUST BE COMPRISED SOLELY OF STORMWATER, AND BE VISIBLE FREE OF SEDIMENT AND FLOATING SOLIDS. OTHER DISCHARGES REQUIRE SEPARATE PERMITTING AUTHORITY.
 - UNLESS INFEASIBLE DUE TO LACK OF PERVERSUS OR VEGETATED AREA, DISCHARGES SHALL BE MADE TO VEGETATED AREAS, AND WITH ENERGY DISSIPATION IN PLACE TO PREVENT EROSION. DISCHARGES FROM THE PROJECT SITE TO THE SANITARY SEWER REQUIRE PRIOR APPROVAL BY THE SEWERING AUTHORITY.
 - WATER DISCHARGED MUST NOT CAUSE NUISANCE CONDITIONS, EROSION IN RECEIVING CHANNELS OR DOWNSLOPE PROPERTIES, OR INUNDATION OF WETLANDS.
 - IF OFF-SITE IMPACTS OCCUR DUE TO NON-COMPLIANCE WITH THESE REQUIREMENTS, RESTORE IMPACTED AREAS AT NO COST TO OWNER.

NPDES CONSTRUCTION ACTIVITY REQUIREMENTS (CONT.)

- SEDIMENTATION OF WATERWAYS: PREVENT MIGRATION OF SEDIMENT FROM PROJECT SITE TO WATERWAYS ON-SITE OR OFF-SITE, INCLUDING RIVERS, STREAMS, LAKES, PONDS, OPEN DRAINAGEWAYS, STORM SEWERS, AND SANITARY SEWERS.
 - PROJECT AREAS ADJACENT TO OR FLOWING DIRECTLY TO WATERWAYS OF THE STATE HAVE ADDITIONAL PERMIT-REQUIRED MANAGEMENT STANDARDS, WHICH INCLUDE SETBACKS, ENHANCED BMPs, AND REQUIREMENTS FOR RAPID STABILIZATION METHODS. CONSULT THE SWPPP FOR SPECIFICATIONS TO BE FOLLOWED. ADDITIONAL PREVENTIVE OR PROTECTIVE MEASURES SHALL BE SUFFICIENT TO PREVENT SEDIMENTATION, ADDITIONAL PREVENTIVE OR PROTECTIVE MEASURES SHALL BE IMPLEMENTED AT NO COST TO THE OWNER.
 - IF SEDIMENTATION OCCURS, INSTALL OR CORRECT PREVENTIVE MEASURES IMMEDIATELY AT NO COST TO OWNER. CORRECTIVE MEASURES INCLUDE REMOVAL OF DEPOSITED SEDIMENTS FROM WATERS OF THE STATE, PRIOR TO REMOVAL OF SEDIMENT FROM WATERWAYS, OBTAIN APPROVAL, AND ANY NECESSARY PERMITS, COMPLY WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
 - IF SEDIMENT BASINS OR DEVICES ARE USED AS TEMPORARY PREVENTIVE MEASURES, PUMP DRY AND REMOVE DEPOSITED SEDIMENT AFTER EACH STORM.
 - WATER DISCHARGED FROM THE PROJECT SITE MUST BE COMPRISED SOLELY OF STORMWATER, AND BE VISIBLE FREE OF SEDIMENT AND FLOATING SOLIDS. OTHER DISCHARGES REQUIRE SEPARATE PERMITTING AUTHORITY.
 - UNLESS INFEASIBLE DUE TO LACK OF PERVERSUS OR VEGETATED AREA, DISCHARGES SHALL BE MADE TO VEGETATED AREAS, AND WITH ENERGY DISSIPATION IN PLACE TO PREVENT EROSION. DISCHARGES FROM THE PROJECT SITE TO THE SANITARY SEWER REQUIRE PRIOR APPROVAL BY THE SEWERING AUTHORITY.
 - WATER DISCHARGED MUST NOT CAUSE NUISANCE CONDITIONS, EROSION IN RECEIVING CHANNELS OR DOWNSLOPE PROPERTIES, OR INUNDATION OF WETLANDS.
 - IF ON-SITE OR OFF-SITE IMPACTS SHALL MEET THE FOLLOWING REQUIREMENTS:
 - WATER DISCHARGED FROM THE PROJECT SITE MUST BE COMPRISED SOLELY OF STORMWATER, AND BE VISIBLE FREE OF SEDIMENT AND FLOATING SOLIDS. OTHER DISCHARGES REQUIRE SEPARATE PERMITTING AUTHORITY.
 - UNLESS INFEASIBLE DUE TO LACK OF PERVERSUS OR VEGETATED AREA, DISCHARGES SHALL BE MADE TO VEGETATED AREAS, AND WITH ENERGY DISSIPATION IN PLACE TO PREVENT EROSION. DISCHARGES FROM THE PROJECT SITE TO THE SANITARY SEWER REQUIRE PRIOR APPROVAL BY THE SEWERING AUTHORITY.
 - WATER DISCHARGED MUST NOT CAUSE NUISANCE CONDITIONS, EROSION IN RECEIVING CHANNELS OR DOWNSLOPE PROPERTIES, OR INUNDATION OF WETLANDS.
- OPEN WATER: PREVENT STANDING WATER THAT COULD BECOME STAGNANT.
 - PORTABLE PREVENTION MEASURES: PREVENT CONTAMINATION OF STORMWATER FROM ON-SITE MATERIALS AND WASTES BY STORING OR DISPOSING AT A SEPARATE AREA (STAGING) IN CONJUNCTION WITH THE PROJECT. AREAS SUBJECT TO THE PROVISIONS IN THIS PART.
 - ANY PRODUCT OR WASTE WITH THE POTENTIAL TO CONTAMINATE STORMWATER MUST BE STORED INSIDE OR UNDER COVER IN SWPPP DESIGNATED AREAS ONLY. ITEMS MUST BE STORED IN A CLEAN, LABELED CONTAINER AND IN A MANNER TO PREVENT RELEASES THROUGH VANDALISM, THEFT, ACCIDENT OR OTHERWISE. ITEMS INCLUDE IN THIS PROVISION INCLUDE, BUT IS NOT LIMITED TO: BUILDING MATERIALS, PESTICIDES, TREATMENT CHEMICALS AND BY-PRODUCTS, LANDSCAPE MATERIALS, FUELS, OILS AND LUBES, PAINTS, SOLVENTS, AND VARIOUS WASTES. STORAGE LOCATIONS SHALL BE INDICATED ON THE SWPPP, AND BE UPDATED AS NECESSARY TO ACCEPTABLE ENGINEERING CONDITIONS.
 - LITTER AND SOLID WASTE AT THE SITE MUST BE CONTROLLED TO PREVENT RELEASE FROM THE PROJECT SITE AND BE COVERED, EXCEPT WHEN ADDING OR REMOVING WASTE. LITTER AND WASTES MUST BE COLLECTED AND DISPOSED OFF-SITE IN A MANNER CONSISTENT WITH LOCAL AND STATE SOLID WASTE RULES. SOLID WASTE STORAGE SHALL BE INDICATED ON THE SWPPP, AND BE UPDATED AS NECESSARY TO ACCEPTABLE ENGINEERING CONDITIONS.
 - ON-SITE WASHING SHALL BE CONDUCTED IN SWPPP DESIGNATED AREAS ONLY, AND SHALL HAVE SECONDARY CONTAINMENT IN PLACE TO PREVENT FUEL RELEASES. IN AREAS WHERE PERMANENT CONTAINMENT IS NOT FEASIBLE, RUBBERIZED CONTAINERS SUITABLE FOR USE UNDER EQUIPMENT DURING FUELING OPERATIONS ARE TO BE USED. FUELING LOCATIONS SHALL BE INDICATED ON THE SWPPP, AND BE UPDATED AS NECESSARY TO REFLECT SITE CONDITIONS.
 - A SPILL KIT CONTAINING MATERIALS APPROPRIATE TO PROJECT-SPECIFIC POLLUTANTS AND QUANTITIES SHALL BE LOCATED ON THE PROJECT SITE, AND ITS LOCATION SHALL BE INDICATED ON THE SWPPP.
 - PORTABLE TOILETS MUST BE POSITIONED SO THAT THEY ARE SECURE, AND WILL NOT BE TIPPED OR KNOCKED OVER. SANITARY WASTE MUST BE DISPOSED IN A MANNER CONSISTENT WITH LOCAL AND STATE RULES.
 - VEHICLE AND EQUIPMENT WASHING IS PROHIBITED AT THE PROJECT SITE, INCLUDING BUT NOT LIMITED TO THE STAGING AREA.
 - CONCRETE WASH-OUT WASTE SHALL EITHER BE COLLECTED AND MANAGED OFF-SITE, OR MANAGED ON-SITE IN A SWPPP DESIGNATED CONCRETE WASHOUT AREA. MATERIALS IN OR DESTINED FOR THE WASHOUT AREA SHALL NOT CONTACT THE GROUND, NOR SHALL WATER OR OTHER LIQUID DISCHARGE FROM THE CONCRETE WASH-OUT WASTE CONTAMINATE THE GROUND. MATERIALS SHALL BE STORED IN A MANNER CONSISTENT WITH LOCAL AND STATE SOLID WASTE RULES. WASHOUT AREAS SHALL BE DESIGNATED ON THE SWPPP, AND BE UPDATED AS NECESSARY TO REFLECT SITE CONDITIONS; WASHOUT AREAS SHALL BE SIGNED AT THE PROJECT SITE. IN CASES WHERE AN ON-SITE BATCH CONCRETE OR ASPHALT PLANT IS USED, A PLAN FOR THE MANAGEMENT OF FUGITIVE DUST, STOCKPILING, WASTEWATER, SOLID WASTE, NOISE, TRAFFIC, CONCRETE AND OTHER PHYSICAL CONSIDERATIONS SHALL BE PROVIDED.
 - USE METERS AND OPERATIONAL PROCEDURES THAT PREVENT DISCHARGE OR PLACEMENT OF BITUMINOUS GRINDINGS, CUTTING WOOLINGS, AND OTHER BITUMINOUS WASTES FROM AREAS OF EXISTING OR FUTURE VEGETATED SOILS AND FROM ALL WATER CONVEYANCE SYSTEMS, INCLUDING SAW CUT SLURRIES AND PLANTING SITE WASTE LEAVING THE PROJECT SITE AND FROM ENTERING STORMWATER CONVEYANCE SYSTEMS INCLUDING DITCHES AND CULVERTS.
 - IF ON-SITE OR OFF-SITE IMPACTS OCCUR DUE TO NON-COMPLIANCE WITH THESE REQUIREMENTS, RESTORE IMPACTED AREAS AT NO COST TO OWNER.
 - ESTABLISH FINAL STABILIZATION: RESTORE THE PROJECT SITE TO PERMIT-REQUIRED VEGETATIVE CONDITIONS AND INITIATE PERMIT TERMINATION PROCESS.
 - COMPLETE SOIL DISTURBING ACTIVITIES AND RESTORE SITE TO A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70%, OR OTHER EQUIVALENT MEASURES, TO PREVENT SOIL FAILURE UNDER EROSION CONDITIONS.
 - TEMPORARY BMPs SHALL BE REMOVED, UNLESS SPECIFICALLY APPROVED.
 - PERMANENT BMPs SHALL BE FULLY INSTALLED AND VERIFIED TO BE OPERATING AS DESIGNED. ANY BASINS OR OTHER PERMANENT BMPs ALSO USED AS TEMPORARY BMPs DURING THE CONSTRUCTION PHASE, MUST BE CLEANED OF ACCUMULATED SEDIMENT.
 - NOTE THAT COMPLIANCE INSPECTIONS, IN ACCORDANCE WITH THE PROVISIONS OF THE PERMIT, MUST CONTINUE UNTIL THE PERMIT IS TERMINATED.
 - GROWING SEASONS: COMMENCEMENT OF WORK IN RELATIONSHIP TO GROWING SEASONS AND FINAL STABILIZATION EFFORTS MAY IMPACT THE CONTRACTOR'S SELECTION OF BMPs FOR FINAL STABILIZATION. THAT IS, SEEDING OR HYDRO-SEEDING OF SITES IN THE FALL DO NOT CONSTITUTE FINAL STABILIZATION AND WILL DELAY THE ABILITY TO CEASE INSPECTIONS AND/OR TERMINATE THE PERMIT.
 - SUBMITTALS
 - SEE DIVISION 01 FOR SUBMITTAL PROCEDURES.
 - CERTIFICATE: MILL CERTIFICATE FOR SILT FENCE FABRIC ATTESTING THAT FABRIC AND FACTORY SEAMS COMPLY WITH SPECIFIED REQUIREMENTS AND SIGNED BY LEGALLY AUTHORIZED OFFICIAL OF MANUFACTURER; INDICATE ACTUAL MINIMUM AVERAGE ROUL VALUES; IDENTIFY FABRIC BY ROLL IDENTIFICATION NUMBERS.
 - STORMWATER POLLUTION PREVENTION PLAN (SWPPP), PREPARED AS SPECIFIED ABOVE.
 - STORMWATER PERMIT APPLICATION PROCEDURE
 - EVIDENCE OF CERTIFICATION OF INDIVIDUALS SPECIFIED BY PART 1.4(C) SHALL BE FURNISHED BY THE CONTRACTOR AT THE PRECONSTRUCTION MEETING.
 - CONTRACTOR COMPLETES A HARD-COPY VERSION OF THE MPCA CONSTRUCTION STORMWATER PERMIT APPLICATION FORM.
 - INSPECTION REPORTS. INSPECTIONS SHALL BE COMPLETED, AND SHALL BE MAINTAINED ON SITE, TO BE PROVIDED TO REGULATOR STAFF AS REQUESTED.

NPDES CONSTRUCTION ACTIVITY REQUIREMENTS (CONT.)

- STORMWATER PERMIT TERMINATION PROCEDURE. WHEN THE PROVISIONS OF PART 1.4(P) FOR FINAL STABILIZATION HAVE BEEN MET AND A PRE-CONSTRUCTION INSPECTION HAS BEEN COMPLETED.
 - COMPLETE AND COMPLY WITH A HARD-COPY VERSION OF THE MPCA NOTICE OF TERMINATION FORM ([HTTP://MNPW.MPCA.STATE.MN.US/INDEX.PHP?VIEW=DOCUMENT.HTML&ID=7388](http://MNPW.MPCA.STATE.MN.US/INDEX.PHP?VIEW=DOCUMENT.HTML&ID=7388)) AND SUBMITS FOR REVIEW AND OWNER'S SIGNATURE.
 - ON-SITE ASPHALT OR CONCRETE BATCH PLANT MANAGEMENT PLAN, AS INDICATED IN PART 1.4(O)(7), SUBMIT A PLAN FOR THE MANAGEMENT OF FUGITIVE DUST, STOCKPILING, WASTEWATER, SOLID WASTE, NOISE, TRAFFIC, LOCATION AND OTHER PHYSICAL CONSIDERATIONS PRIOR TO USE OF A BATCH CONCRETE OR ASPHALT PLANT.
 - MATERIALS AND PRODUCT SHOP DRAWINGS.
- PART 2 - PRODUCTS
 - MATERIALS
 - MULCH PER MNDOT SPECIFICATION SECTION 3733, TYPE 3.
 - GRASS SEED FOR TEMPORARY COVERS: SELECT SPECIES APPROPRIATE TO CLIMATE, PLANTING SEASON, AND INTENDED PURPOSE. IF SAME AREA WILL LATER BE PLANTED WITH PERMANENT VEGETATION, DO NOT USE SPECIES KNOWN TO BE EXCESSIVELY COMPETITIVE OR PRONE TO VOLUNTEER IN SUBSEQUENT SEASONS. MNODT SEED MIX #100 OR #110 OR APPROVED EQUIVALENT.
 - SILT FENCE FABRIC: PER MNODT SPECIFICATION SECTION 3886 FOR STANDARD MACHINE SLICED OR HEAVY DUTY TYPE. PREASSEMBLED SILT FENCE IS NOT ALLOWED. FOLLOW MNODT STANDARDS.
 - GEOTEXTILES: PER MNODT SPECIFICATION SECTION 3733, TYPE V.
 - EROSION CONTROL BLANKETS: PER MNODT SPECIFICATION SECTION 3885, CATEGORY 4 COCONUT FOR ALL SLOPES 4:1 OR GREATER AND WITHIN ENTIRE BOSWALE AREA, AND CATEGORY 2 STRAW FOR ALL SLOPES 0:1 OR GREATER.
 - EROSION STABILIZATION MATE: PER MNODT SPECIFICATION SECTION 3888, TYPE 3 FOR SLOPES GREATER THAN 3:1 AND AT PIPE OUTLETS.
 - STORM DRAIN INLET PROTECTION: FILTER BAG INSERT OR APPROVED EQUIVALENT. SILT FENCE WRAPPED ON FILTER BAGS FOR STRAW OR STRAWLOGS AT STORM DRAIN INLETS.
 - FILTER LOG: PER MNODT SPECIFICATION SECTION 3897 TYPE STRAW, WOOD OR COMPOST LOG. STRAW LOGS ARE CONSIDERED TO BE MANGINALLY EFFECTIVE, AND ARE ONLY TO BE USED, IF AT ALL, IN VERY LOW-SLOP, LOW-SLOPE AREAS.
 - CONSTRUCTION ACTIVITY REQUIREMENTS
 - EXAMINATION
 - EXAMINE SITE AND IDENTIFY EXISTING FEATURES THAT CONTRIBUTE TO EROSION RESISTANCE; MAINTAIN SUCH EXISTING FEATURES TO GREATEST EXTENT POSSIBLE.
 - PREPARATION
 - SCHEDULE WORK SO THAT SOIL SURFACES ARE LEFT EXPOSED FOR THE MINIMUM AMOUNT OF TIME.
 - CONSTRUCTION ACTIVITY REQUIREMENTS
 - STORM WATER POLLUTION PREVENTION PLAN
 - THE PERMITTEE(S) MUST IMPLEMENT THE SWPPP AND THE REQUIREMENTS OF THIS PART. THE BMPs IDENTIFIED IN THE SWPPP AND IN THIS PERMIT MUST BE SELECTED, INSTALLED, AND MAINTAINED IN AN APPROPRIATE AND FUNCTIONAL MANNER THAT IS IN ACCORDANCE WITH RELEVANT MANUFACTURER SPECIFICATIONS AND ACCEPTED ENGINEERING PRACTICES.
 - EROSION PREVENTION PRACTICES
 - THE PERMITTEE(S) MUST PLAN FOR AND IMPLEMENT APPROPRIATE BMPs SUCH AS CONSTRUCTION PHASING, VEGETATIVE BUFFER STRIPS, HORIZONTAL SLOPE GRADING, INSPECTION AND MAINTENANCE OF PART IV.E. AND OTHER CONSTRUCTION PRACTICES THAT MINIMIZE EROSION AS NECESSARY TO COMPLY WITH THIS PERMIT AND PROTECT WATERS OF THE STATE. THE LOCATION OF AREAS NOT TO BE DISTURBED MUST BE DELINEATED (E.G., WITH FLAGS, STAKES, SIGNS, SILT FENCE ETC.) ON THE PROJECT SITE BEFORE WORK BEGINS. THE PERMITTEE(S) MUST MINIMIZE THE NEED FOR DISTURBANCE OF PORTIONS OF THE PROJECT THAT HAVE STEEP SLOPES. FOR THOSE SLOPED AREAS WHICH MUST BE DISTURBED, THE PERMITTEE(S) MUST USE TECHNIQUES SUCH AS PHASING AND STABILIZATION PRACTICES DESIGNED FOR STEEP SLOPES (E.G., SLOPE DRAINING AND TERRACING).
 - ALL THE PERMITTEE(S) MUST STABILIZE ALL EXPOSED SOIL AREAS (INCLUDING STOCKPILES). STABILIZATION MUST BE INITIATED IMMEDIATELY TO LIMIT SOIL EROSION WHENEVER ANY CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. STABILIZATION MUST BE COMPLETED NO LATER THAN 14 CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED FOR PUBLIC WATERS THAT THE MINNESOTA DEPARTMENT OF NATURAL RESOURCES HAS PROMULGATED "WORK IN WATER RESTRICTIONS" DURING SPECIFIED FISH SPawning TIME FRAMES. ALL EXPOSED SOIL AREAS THAT ARE WITHIN 200 FEET OF THE WATER'S EDGE, AND DRINK TO THESE WATERS MUST COMPLETE THE STABILIZATION ACTIVITIES WITHIN 24 HOURS DURING THE RESTRICTION PERIOD. TEMPORARY STOCKPILES WITHOUT SIGNIFICANT SILT, CLAY OR ORGANIC COMPONENTS (E.G., CLEAN AGGREGATE STOCKPILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES) AND THE CONSTRUCTED BASE COMPONENTS OF ROADS, PARKING LOTS AND SIMILAR SURFACES ARE EXEMPT FROM THIS REQUIREMENT BUT MUST BE IN COMPLIANCE WITH PART IV.C.5.
 - IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED IN A MANNER AND FREQUENCY SUFFICIENT TO MINIMIZE SEDIMENTATION IN THE CONSTRUCTION SITE AND PREVENT SEDIMENTATION IN STREETS COULD BE WASHED INTO STORM SEWERS BY THE NEXT RAIN AND/OR POSE A SAFETY HAZARD TO USERS OF PUBLIC STREETS.
 - ALL INFILTRATION AREAS MUST BE INSPECTED TO ENSURE THAT NO SEDIMENT FROM ONGOING CONSTRUCTION ACTIVITIES IS REACHING THE INFILTRATION/INFILTRATION AREA AND THESE AREAS ARE PROTECTED FROM COMPACTION DUE TO CONSTRUCTION EQUIPMENT DRIVING ACROSS THE INFILTRATION AREA.
 - IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED IN A MANNER AND FREQUENCY SUFFICIENT TO MINIMIZE SEDIMENTATION IN THE CONSTRUCTION SITE AND PREVENT SEDIMENTATION IN STREETS COULD BE WASHED INTO STORM SEWERS BY THE NEXT RAIN AND/OR POSE A SAFETY HAZARD TO USERS OF PUBLIC STREETS.
 - ALL INFILTRATION AREAS MUST BE INSPECTED TO ENSURE THAT NO SEDIMENT FROM ONGOING CONSTRUCTION ACTIVITIES IS REACHING THE INFILTRATION/INFILTRATION AREA AND THESE AREAS ARE PROTECTED FROM COMPACTION DUE TO CONSTRUCTION EQUIPMENT DRIVING ACROSS THE INFILTRATION AREA.
 - IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED IN A MANNER AND FREQUENCY SUFFICIENT TO MINIMIZE SEDIMENTATION IN THE CONSTRUCTION SITE AND PREVENT SEDIMENTATION IN STREETS COULD BE WASHED INTO STORM SEWERS BY THE NEXT RAIN AND/OR POSE A SAFETY HAZARD TO USERS OF PUBLIC STREETS.
 - ALL INFILTRATION AREAS MUST BE INSPECTED TO ENSURE THAT NO SEDIMENT FROM ONGOING CONSTRUCTION ACTIVITIES IS REACHING THE INFILTRATION/INFILTRATION AREA AND THESE AREAS ARE PROTECTED FROM COMPACTION DUE TO CONSTRUCTION EQUIPMENT DRIVING ACROSS THE INFILTRATION AREA.

NPDES CONSTRUCTION ACTIVITY REQUIREMENTS (CONT.)

- SEDIMENT CONTROL PRACTICES
 - TEMPORARY OR PERMANENT DRAINAGE DITCHES AND SEDIMENT BASINS THAT ARE DESIGNED AS PART OF A TREATMENT SYSTEM REQUIRE ADDITIONAL CONSTRUCTION ACTIVITIES SUCH AS DREDGING, DREDGE, OR REWORK.
 - IF THE DOWN GRADIENT TREATMENT SYSTEM IS OVERLOADED, ADDITIONAL UPGRADIENT SEDIMENT CONTROL PRACTICES MUST BE INSTALLED TO ELIMINATE THE OVERLOADING, AND THE SWPPP MUST BE AMENDED TO IDENTIFY THESE ADDITIONAL PRACTICES.
 - IN ORDER TO MAINTAIN SHEET FLOW AND MINIMIZE HILLS AND/OR GULLIES, THERE SHALL BE NO UNBROKEN SLOPE LENGTH OF GREATER THAN 75 FEET FOR SLOPES WITH A GRADE OF 3:1 OR STEEPER.
 - SEDIMENT CONTROL PRACTICES MUST BE ESTABLISHED ON ALL DOWN GRADIENT PERIMETERS BEFORE ANY UPGRADIENT DISTURBING ACTIVITIES BEGIN. THESE PRACTICES SHALL REMAIN IN PLACE UNTIL FINAL STABILIZATION HAS BEEN ESTABLISHED.
 - THE TIMING OF THE INSTALLATION OF SEDIMENT

NPDES CONSTRUCTION ACTIVITY REQUIREMENTS (CONT.)

F. POLLUTION PREVENTION MANAGEMENT MEASURES

THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING POLLUTION PREVENTION MANAGEMENT MEASURES ON THE SITE:

3. STORAGE, HANDLING, AND DISPOSAL OF CONSTRUCTION PRODUCTS, MATERIALS, AND WASTES: THE CONTRACTOR SHALL COMPLY WITH THE FOLLOWING STANDARDS TO MINIMIZE THE EXPOSURE TO STORMWATER OF ANY OF THE PRODUCTS, MATERIALS, OR WASTES. PRODUCTS OR WASTES WHICH ARE EITHER NOT A SOURCE OF CONTAMINATION TO STORMWATER OR ARE DESIGNED TO BE EXPOSED TO STORMWATER ARE NOT HELD TO THIS REQUIREMENT:
 - a. BUILDING PRODUCTS THAT HAVE THE POTENTIAL TO LEACH POLLUTANTS MUST BE UNDER COVER (E.G., PLASTIC SHEETING OR TEMPORARY ROOFS) TO PREVENT THE DISCHARGE OF POLLUTANTS OR PROTECTED BY A SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER.
 - b. PESTICIDES, HERBICIDES, INSECTICIDES, FERTILIZERS, TREATMENT CHEMICALS, AND LANDSCAPE MATERIALS MUST BE UNDER COVER (E.G., PLASTIC SHEETING OR TEMPORARY ROOFS) TO PREVENT THE DISCHARGE OF POLLUTANTS OR PROTECTED BY A SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER.
 - c. HAZARDOUS MATERIALS, TOXIC WASTE, (INCLUDING OIL, DIESEL FUEL, GASOLINE, HYDRAULIC FLUIDS, PAINT SOLVENTS, PETROLEUM-BASED PRODUCTS, WOOD PRESERVATIVES, ADDITIVES, CURING COMPOUNDS, AND ACIDS) MUST BE PROPERLY STORED IN SEALED CONTAINERS TO PREVENT LEAKAGE. AT THE END OF EACH DAY, ALL CONTAINERS MUST BE RECLOSED AND PROTECTED FROM THE ELEMENTS. STORMWATER AND DISPOSAL OF HAZARDOUS WASTE OR HAZARDOUS MATERIALS MUST BE IN COMPLIANCE WITH MINN. R. CH. 7045 INCLUDING SECONDARY CONTAINMENT AS APPLICABLE.
 - d. SOLID WASTE MUST BE STORED, COLLECTED AND DISPOSED OF PROPERLY IN COMPLIANCE WITH MINN. R. CH. 7035.
 - e. PORTABLE TOILETS MUST BE POSITIONED SO THAT THEY ARE SECURE AND WILL NOT BE TIPPED OR KNOCKED OVER. SANITARY WASTE MUST BE DISPOSED OF PROPERLY IN ACCORDANCE WITH MINN. R. CH. 7041.
2. FUELING AND MAINTENANCE OF EQUIPMENT OR VEHICLES: SPILL PREVENTION AND RESPONSE: THE PERMITTEE(S) SHALL TAKE REASONABLE STEPS TO PREVENT THE DISCHARGE OF SPILLED OR LEAKED CHEMICALS, INCLUDING FUEL, FROM ANY AREA WHERE CHEMICALS OR FUEL WILL BE LOADED OR UNLOADED, INCLUDING THE USE OF DRIP PANS OR ABSORBENTS UNLESS INFEASIBLE. IN SITUATIONS WHERE EQUIPMENT CONTAINMENT IS NOT FEASIBLE, RUBBERIZED CONTAINERS SUITABLE FOR USE UNDER EQUIPMENT DURING FUELING OPERATIONS ACCORDING TO THE PERMITTEE(S) MUST CONDUCT FUELING IN A CONTAINED AREA UNLESS INFEASIBLE. THE PERMITTEE(S) MUST ENSURE ADQUATE SUPPLIES ARE AVAILABLE AT THE SITE FOR RECOVERED SPILLED MATERIALS AND THAT AN APPROPRIATE DISPOSAL METHOD IS AVAILABLE FOR RECOVERED SPILLED MATERIALS. THE PERMITTEE(S) MUST REPORT AND CLEAN UP SPILLS IMMEDIATELY AS REQUIRED BY MINN. STAT. § 115.061, USING DRY CLEAN UP MEASURES WHERE POSSIBLE.
3. VEHICLE AND EQUIPMENT WASHING: NO VEHICLE OR EQUIPMENT WASHING IS ALLOWED AT PROJECT SITES, INCLUDING BUT NOT LIMITED TO STAGING AREAS.
4. CONCRETE AND OTHER WASHOUTS WASTE: THE PERMITTEE(S) MUST PROVIDE EFFECTIVE CONTAINMENT FOR ALL LIQUID AND SOLID WASTES GENERATED BY WASHOUT OPERATIONS (CONCRETE, STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS RELATED TO CONCRETE ACTIVITY). THE LIQUID AND SOLID WASHOUT WASTES MUST NOT CONTACT THE GROUND, AND THE CONTAMINANT MUST BE DESIGNED SO THAT IT WILL NOT RUNOFF FROM THE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH THE REQUIREMENTS OF THE STORMWATER POLLUTION PREVENTION PLAN. THE CONTRACTOR MUST CLEAN OUT ALL CONVEYANCES AND FROM TEMPORARY SEDIMENTATION BASINS THAT ARE TO BE USED AS PERMANENT WATER QUALITY MANAGEMENT BASINS. THE BASIN MUST BE STABILIZED TO PREVENT IT FROM BEING WASHED BACK INTO THE BASIN, CONVEYANCES OR DRAIGUE WAYS DISCHARGING OFF-SITE OR TO SURFACE WATERS. THE CLEANOUT OF PERMANENT BASINS MUST BE SUFFICIENT TO RETURN THE BASIN TO DESIGN CAPACITY.
5. CLEAN UP
 - A. REMOVE TEMPORARY MEASURES AFTER PERMANENT MEASURES HAVE BEEN INSTALLED.
 - B. CLEAN OUT TEMPORARY SEDIMENT CONTROL STRUCTURES THAT ARE TO REMAIN AS PERMANENT MEASURES.
 - C. WHERE REMOVAL OF TEMPORARY MEASURES WOULD LEAVE EXPOSED SOIL, SHAPE SURFACE TO AN ACCEPTABLE GRADE AND FINISH TO MATCH ADJACENT GROUND SURFACES.

PERMANENT STORMWATER MANAGEMENT SYSTEM

THE PERMITTEE(S) SHALL DESIGN THE PROJECT SO THAT ALL STORMWATER DISCHARGED FROM THE PROJECT DURING AND AFTER CONSTRUCTION ACTIVITIES DOES NOT CAUSE A VIOLATION OF STATE WATER QUALITY STANDARDS, INCLUDING NUISANCE CONDITIONS, EROSION IN RECEIVING CHANNELS OR ON DOWNSLOPE PROPERTIES, OR A SIGNIFICANT ADVERSE IMPACT TO WETLANDS CAUSED BY INUNDATION OR DECREASE OF FLOW.

THE PERMITTEE(S) SHALL CONSTRUCT A PERMANENT STORMWATER MANAGEMENT SYSTEM MEETING THE REQUIREMENTS OF THIS PART, OR IF THE PROJECT IS LOCATED IN A JURISDICTION SUBJECT TO AN NPDES/SOS MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4) PERMIT AND THAT PERMIT ESTABLISHED PERMANENT TREATMENT REQUIREMENTS THAT INCLUDE VOLUME REDUCTION, THE PERMITTEE(S) CAN COMPLY WITH THE PERMANENT TREATMENT REQUIREMENTS ESTABLISHED UNDER THAT MS4 PERMIT IN LIEU OF THE PERMANENT TREATMENT REQUIREMENTS OF THIS PERMIT.

PANERA BREAD DEVELOPMENT - SITE INTRO.

PROJECT DESCRIPTION

THE PROPOSED REDEVELOPMENT PROJECT CONSISTS OF DISTURBING 1.47 ACRES OF THE EXISTING CHANHASSEN INN HOTEL AT 351 W. 79TH STREET IN CHANHASSEN, MN. PROPOSED DEVELOPMENT INCLUDES A 4,486 SQUARE FOOT ONE-TEANT RESTAURANT BUILDING, ALONG WITH ASSOCIATED SURFACE PARKING LOT, TRASH ENCLOSURE, CONCRETE CURB AND GUTTER, AND OTHER ASSOCIATED UTILITIES. THIS SITE LIES WITHIN THE UNSHADE ZONE C, AREAS OF MINIMAL FLOODING ACCORDING TO FEMA.

THE PROJECT SITE DOES NOT INCLUDE SITES OF HISTORIC OR ARCHAEOLOGICAL SIGNIFICANCE AND DOES NOT INCLUDE ENDANGERED & THREATENED SPECIES, RARE NATURAL COMMUNITIES, COLONIAL WATERBIRD NESTING SITES, MIGRATORY WATERFOWL CONCENTRATION AREAS, DEER WINTERING AREAS OR WILDLIFE CORRIDORS. THE IMPLEMENTATION AND MAINTENANCE OF THE STORM WATER POLLUTION PREVENTION PLAN WILL PROVIDE THE CONTRACTOR AND OWNER WITH THE FRAMEWORK TO REDUCE SOIL EROSION AND MINIMIZE POLLUTANTS IN THE STORM WATER DURING CONSTRUCTION OF THE SITE.

THE STORM WATER POLLUTION PREVENTION PLAN WILL DEFINE THE CHARACTERISTICS OF THE SITE AND THE TYPE OF CONSTRUCTION TO OCCUR; INCLUDE A SITE PLAN SHOWING THE CONSTRUCTION; DESCRIBE THE PRACTICES THAT WILL BE USED TO CONTROL EROSION AND RELEASE POLLUTANTS INTO THE STORM WATER, INDICATE A SCHEDULE TO HELP ENSURE THAT THE PRACTICES INDICATED ARE IMPLEMENTED AND TO HELP EVALUATE THE EFFECTIVENESS OF THE PRACTICES IN REDUCING EROSION AND POLLUTANTS DISCHARGED FROM THE SITE; AND TO DESCRIBE THE FINAL STABILIZATION MEASURES REQUIRED TO HELP MINIMIZE EROSION AND OTHER STORM WATER IMPACTS AFTER CONSTRUCTION.

STORM WATER POLLUTION PREVENTION PLAN IMPLEMENTATION

PLAN COORDINATION:

THE SITE REPRESENTATIVE FOR THE OWNER, WITH THE ASSISTANCE OF THE FIELD SUPERVISOR FOR THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR IMPLEMENTING AND MONITORING THE STORM WATER POLLUTION PREVENTION PLAN DURING CONSTRUCTION. THIS WILL INCLUDE OVERSEEING THE MAINTENANCE OF THE BMPs THAT ARE IMPLEMENTED, PROVIDE INSPECTIONS AND MONITORING OF THE BMPs, IDENTIFY AND CORRECT ANY DEFICIENCIES IN THE STORM WATER POLLUTION PREVENTION PLAN, AND MONITOR THAT ANY CHANGES TO THE CONSTRUCTION PLANS ARE ADDRESSED BY THE STORM WATER POLLUTION PREVENTION PLAN.

PROJECT INFORMATION

SITE LOCATION:

THE PROJECT SITE IS APPROXIMATELY 1.45 ACRES, ZONED BH (HIGHWAY AND BUSINESS SERVICES DISTRICT, AT 351 W 79TH STREET, CHANHASSEN, MINNESOTA IN CARVER COUNTY.

STORM WATER MANAGEMENT CONTROLS

TEMPORARY AND PERMANENT EROSION CONTROL MEASURES:

A LIST OF STABILIZATION MEASURES HAS BEEN TABULATED BELOW AND THE LOCATIONS OF THESE MEASURES ARE SHOWN ON THE ATTACHED EROSION CONTROL PLAN. THIS PROJECT WILL USE A NUMBER OF BMPs TO HELP CONTROL EROSION AND SEDIMENT. THOSE MEASURES INCLUDE:

75A DANDY BAG INLET PROTECTION
75B SWP-C (BIG RED) OR APPROVED EQUAL
75C SILT FENCE (PER CITY DETAIL 5301)
75D ROCK CONSTRUCTION ENTRANCE (PER CITY DETAIL 5301)
75E CATCH BASIN SEDIMENT TRAP (PER CITY DETAIL 5302A)
80F TEMPORARY SILT FENCE INLET PROTECTION

DETAILS FOR THESE CAN BE FOUND ON THE DETAIL SHEETS.

THE FOLLOW TABLE PROVIDES A SCHEDULE FOR STABILIZING DISTURBED AREAS DURING CONSTRUCTION:

DISTURBED AREA	WORKING DAYS TO STABILIZE
3' TOT AND STEEPER SLOPES	7 DAYS
SLOPES FLATTER THAN 3 TO 1	7 DAYS
ALL DITCHES, WITHIN 200' OF OUTLET	1 DAY
ALL OUTLETS	1 DAY
ALL DITCHES	1 DAY
TEMPORARY SEDIMENT BASINS AND TRAPS	1 DAY
SOIL STOCKPILES	7 DAYS

SEE THE LANDSCAPE PLAN FOR FINAL PLANT AND TURF COVERAGE OF THE SITE IF APPLICABLE.

CONSTRUCTION TYPE:

THE PROJECT WILL CONSIST OF CONSTRUCTING A NEW SINGLE-TENANT RESTAURANT BUILDING WITH DRIVE-THRU LANE, A BIOPRETENTION BASIN WITH UNDERDRAIN, AND UTILITY CONNECTIONS. RUNOFF FROM ALL PROPOSED IMPERVIOUS SURFACES WILL BE COLLECTED BY DOWNSPOUTS, OR DRAIN TO ONE OF A SERIES OF CATCH BASINS IN THE PAVED AREA, AND INTO A BIOFILTRATION BASIN THAT WILL SERVE TO PROMOTE ON SITE ABSTRACTION OF STORMWATER. EXCESS STORMWATER FROM THE BIOFILTRATION BASIN SHALL OVERFLOW INTO AN OUTLET CONTROL STRUCTURE (OCS) WHICH WILL IN TURN CONTROL THE RATE OF RUNOFF AND PROVIDE FOR ADDITIONAL WATER QUALITY MEETING CITY OF CHANHASSEN HIGHWAY 5 TO THE SOUTH. NO DISTURBANCE IS PROPOSED IN THE EXISTING STORMWATER INFRASTRUCTURE THAT RUNS UNDERNEATH STATE HIGHWAY 5 TO THE WEST.

SITE GRADING AND UTILITY CONSTRUCTION IS ANTICIPATED TO BEGIN IN THE SPRING OF 2018 WITH COMPLETION OF THE SITE IN FALL 2018.

EXISTING DRAINAGE/SOIL CONDITIONS:

A GEOTECHNICAL ENGINEERING REPORT WAS PROVIDED BY BRAUN INTERTEC CORPORATION. PROJECT NUMBER B1702295 DATED JUNE 22, 2017.

SITE WIDE CONTROL MEASURES

TO PREVENT EROSION SEDIMENTS FROM LEAVING THE SITE, THE FOLLOWING BMPs WILL BE USED:

SILT FENCE / EROSION LOGS. TO BE MACHINE OR HAND INSTALLED ALONG THE PERIMETER OF AREAS TO BE GRADED BEFORE GRADING BEGINS. ADDITIONAL PERIMETER CONTROLS SHOULD BE KEPT ON-SITE FOR REPAIRS, REPLACEMENT OR PROTECTION OF ADDITIONAL AREAS. SILT FENCE OR EROSION LOGS SHALL BE INSPECTED ONCE A WEEK AND WITHIN 24 HOURS OF ANY 1" RAIN EVENT. SEDIMENT REMOVAL REQUIRED WHEN SEDIMENTS REACH 1/3 THE HEIGHT OF THE BMP. BMPs CAN BE REMOVED WHEN VEGETATION FOR FINAL STABILIZATION HAS BEEN ADEQUATELY ESTABLISHED (70%).

ALL EXPOSED AREAS WITHIN 200 FEET OF A SURFACE WATER MUST BE STABILIZED NO LATER THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.

AFTER ALL AREAS ARE FINAL GRADED, THE ENTIRE SITE SHALL BE SEED AND FERTILIZED. SLOPES WITH GRADES GREATER THAN 3 TO 1, OR WHERE CONCENTRATED FLOWS WILL OCCUR EROSION CONTROL BLANKETS AND FIBER LOGS SHALL BE INSTALLED (MAXIMUM SPACING 75 FEET).

AREAS FLOWING INTO THE STORM WATER CONVEYANCE SYSTEM WILL BE STABILIZED THE DAY THE STRUCTURES ARE INSTALLED. CATCH BASIN SEDIMENT BAGS WILL BE INSTALLED THE SAME DAY AND LEFT IN PLACE UNTIL THE PROJECT IS COMPLETED. SEDIMENTS SHALL BE REMOVED AND DISPOSED OF WHEN 1/3 THE CAPACITY IS REACHED.

TOPSOIL STOCKPILES WILL BE STABILIZED WITH TEMPORARY SEED, MULCH AND FERTILIZER WITHIN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY THAT CREATED THE STOCKPILE.

DUST WILL BE CONTROLLED BY WATER APPLICATION AND/OR SWEEPING AS NEEDED.

VEGETATIVE BUFFERS WILL BE MAINTAINED AT THE PERIMETER OF THE SITE.

GRADING OPERATIONS SHOULD INCORPORATE HORIZONTAL SLOPE TRICKLING WHEN POSSIBLE TO HELP REDUCE EROSION.

CONSTRUCTION ENTRANCE WITH 3" COURSE AGGREGATE OVER GEOFABRIC.

ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A COMPACTED CLAY LINER THAT DOES NOT ALLOW WASHOUT LIQUIDS TO ENTER GROUND WATER IS CONSIDERED AN IMPERMEABLE LINER.

THE BIOPRETENTION AREAS MUST NOT BE GRADED TO THEIR FINAL CONDITION UNTIL THE CONTRIBUTING WATERSHED IS STABILIZED.

CONSTRUCTION PRACTICES TO MINIMIZE STORM WATER CONTAMINATION:

ALL NON-HAZARDOUS WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURE LOCATION, PREFERABLY A LOCKABLE METAL DUMPSTER, AT THE END OF EACH DAY. ALL TRASH AND CONSTRUCTION DEBRIS SHOULD BE DEPOSITED IN THE DUMPSTER AT THE END OF EACH DAY AND WILL BE EMPTIED AS NECESSARY. NO CONSTRUCTION MATERIALS SHALL BE BURIED ON-SITE. A LICENSED SANITARY WASTE MANAGEMENT COMPANY WILL COLLECT ALL SANITARY WASTE FROM PORTABLE UNITS. GOOD HOUSEKEEPING AND SPILL CONTROL PRACTICES SHOULD BE FOLLOWED TO MINIMIZE STORM WATER CONTAMINATION.

Maintenance

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT, AND SHOULD BE CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR SHALL BE REPLACED IF THEY SHOW SIGNS OF DETERIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED AND RESEED AS NEEDED.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-THIRD TO ONE-HALF THE HEIGHT OF THE SILT FENCE.
4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT IN THE SEDIMENTATION BASINS SHALL NOT EXCEED THE SEDIMENTATION CLEANOUT LEVEL.
7. THE EMBANKMENT OF THE SEDIMENTATION BASIN SHALL BE CHECKED REGULARLY TO INSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT.

SEQUENCE OF CONSTRUCTION

SEQUENCE OF CONSTRUCTION:

1. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
2. PREPARE TEMPORARY PARKING AND STORAGE AREA.
3. CONSTRUCT THE SILT FENCES ON THE SITE.
4. INSTALL EROSION CONTROL DEVICES ON EXISTING INLETS.
5. CLEAR AND GRAD THE SITE.
6. BEGIN GRAVING THE SITE.
7. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
8. TEMPORARILY SEED DENUDED AREAS.
9. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
10. INSTALL RIP RAP AROUND OUTLET STRUCTURES.
11. PREPARE SITE FOR PAVING.
12. PAVE SITE.
13. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
14. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED).

BMP QUANTITIES

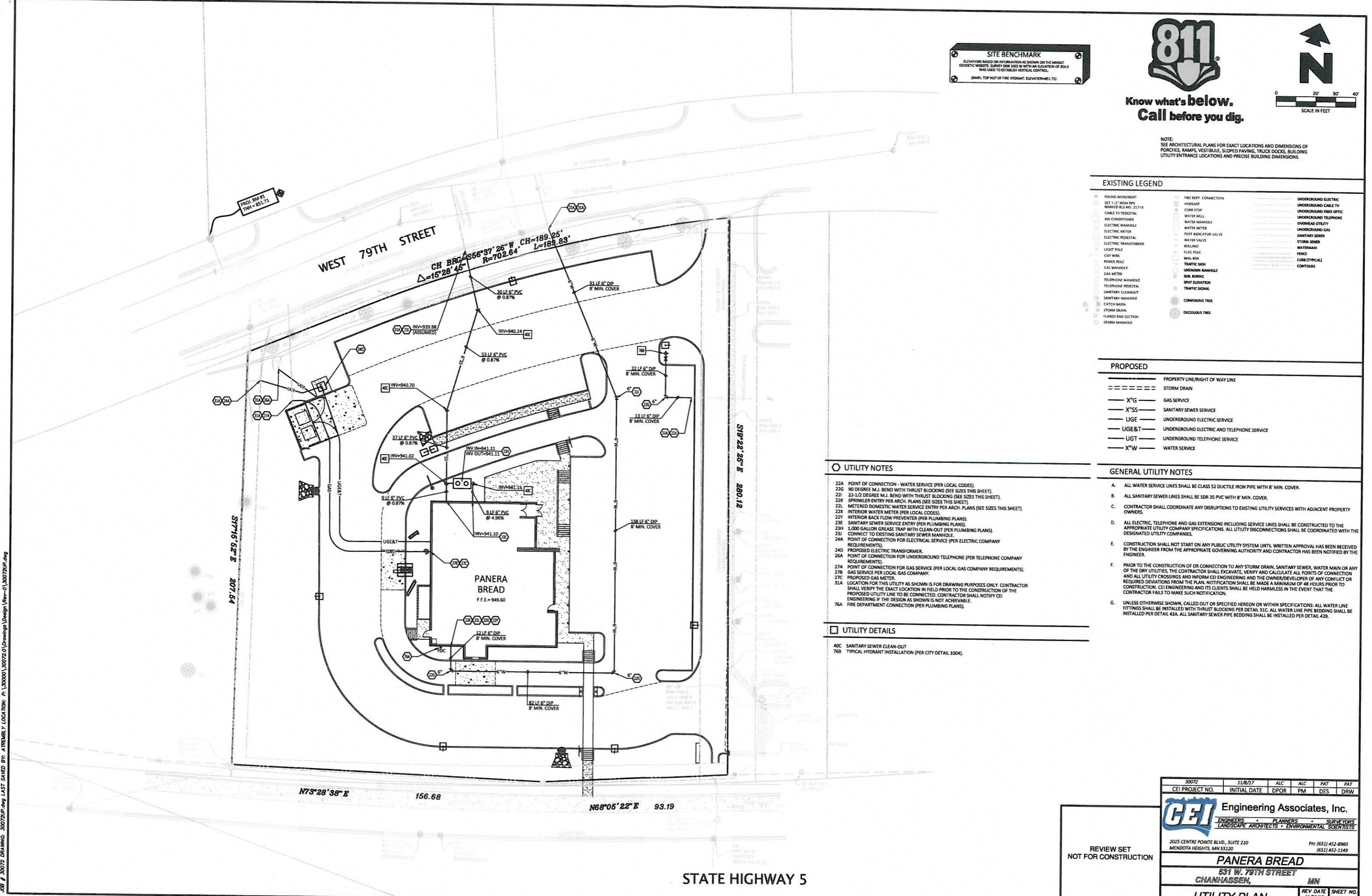
1 EA.	DANDY BAG INLET PROTECTION
250 LF	SWP-C (BIG RED) OR APPROVED EQUAL
720 LF	SILT FENCE (PER CITY DETAIL 5301)
1 EA.	ROCK CONSTRUCTION ENTRANCE (PER CITY DETAIL 5301)
2 EA.	CATCH BASIN SEDIMENT TRAP (PER CITY DETAIL 5302A)
2 EA.	TEMPORARY SILT FENCE INLET PROTECTION

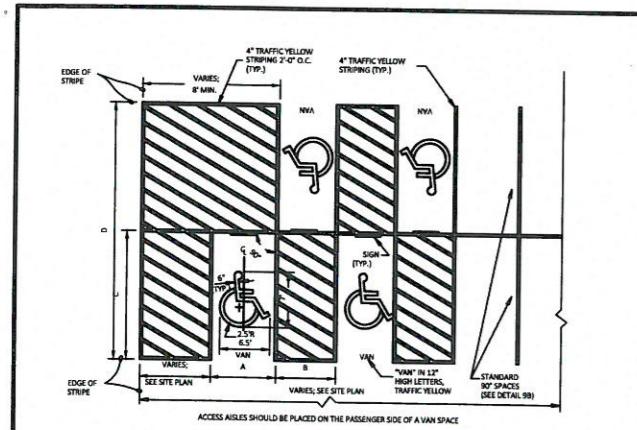
CONTACTS

CIVIL ENGINEER	DEVELOPER	CONTRACTOR
CEI ENGINEERING ASSOCIATES INC.	PANERA, LLC	T.B.D.
ALICE CATCHPOOL, PE	BRUNI BARNARD	
2025 CENTRE POINTE BLVD.	SR. DESIGN/PROJECT MANAGE	
SUITE 210	3630 SOUTH GEYER ROAD, SUITE 100	
MENDOTA HEIGHTS, MN 55120	ST. LOUIS, MO 63127	
651-452-8960	314-984-2609	
catchpool@ceien.com		

REVIEW SET
NOT FOR CONSTRUCTION

30072	11/29/17	ALC	ALC	PAT	PAT
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW
2025 CENTRE POINTE BLVD., SUITE 210 MENDOTA HEIGHTS, MN 55120					
CEI Engineering Associates, Inc.					
ENGINEERS • PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS					
PANERA BREAD					
531 W. 79TH STREET CHANHASSEN, MN					
EROSION CONTROL NOTES 2					
REV DATE 10/10/17	REV DATE REV-O	SHEET NO. C6			



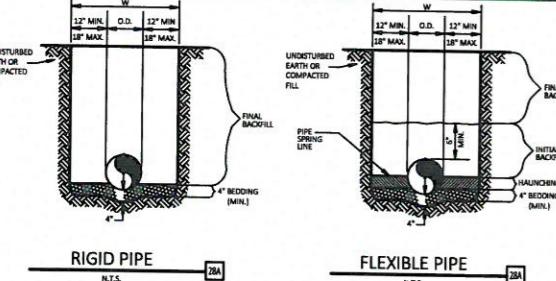


DIMENSION CHART		
A	8'	8'
B	8'	8'
C	16'	16'
D	36'	40'

NOTE: SEE SITE PLAN FOR TOTAL LAYOUT
NOTE: ALL DIMENSIONS ARE TO C OF STRIPE
UNLESS OTHERWISE INDICATED

90° VAN ACCESSIBLE PARKING SPACE STRIPING

N.T.S. [Drawing Number]

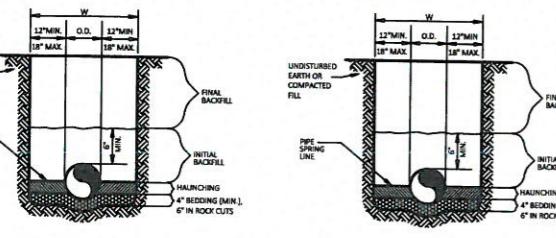


GENERAL NOTES

1. BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUT/WATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-A, COMPACTED TO 95% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
2. HAULING SHALL BE WORKED AROUND THE PIPE BY HAND. IF GROUT/WATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 95% PROCTOR.
3. INITIAL BACKFILL SHALL BE CLASS I-A, WORKED BY HAND. IF GROUT/WATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS II COMPACTED TO 90% STANDARD PROCTOR.
4. INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS II COMPACTED TO 90% STANDARD PROCTOR.
5. FINAL BACKFILL SHALL BE CLASS I, II, OR III COMPACTED AS NOTED IN NOTES 3. AND 4.

STORM SEWER TRENCH AND BEDDING

N.T.S. [Drawing Number]

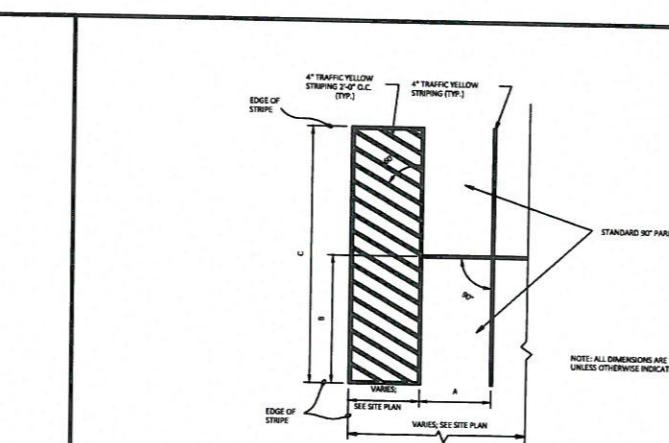


GENERAL NOTES

1. BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUT/WATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-A, COMPACTED TO 95% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
2. HAULING SHALL BE WORKED AROUND THE PIPE BY HAND. IF GROUT/WATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 95% PROCTOR.
3. INITIAL BACKFILL SHALL BE CLASS I-A, WORKED BY HAND. IF GROUT/WATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS II COMPACTED TO 90% STANDARD PROCTOR.
4. INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS II COMPACTED TO 90% STANDARD PROCTOR.
5. FINAL BACKFILL SHALL BE CLASS I, II, OR III COMPACTED AS NOTED IN NOTES 3. AND 4.

SANITARY SEWER AND WATER LINE TRENCHING AND BEDDING

N.T.S. [Drawing Number]



DIMENSION CHART		
A	8'	8'
B	8'	8'
C	16'	16'

NOTE: SEE SITE PLAN FOR TOTAL LAYOUT

90° PARKING SPACE STRIPING

N.T.S. [Drawing Number]

TREE PROTECTION NOTES:

1. ALL TREES SHOWN ON THIS PLAN TO BE RETAINED SHALL BE PROTECTED DURING ALL PHASES OF DEMOLITION/CONSTRUCTION WITH TEMPORARY FENCING. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH LANDSCAPE CONTRACTOR.
2. TREE PROTECTION FENCES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING OR GRADING). CLEARING SHALL BE DONE BY HAND.
3. FENCES SHALL COMPLETELY SURROUND TREE OR CLUSTERS OF TREES; SHALL BE LOCATED 5' FROM THE OUTERMOST LIMITS OF THE TREE BRANCHES (Drip Line); AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION BY CONTRACTOR. PROJECT IN ORDER TO PREVENT THE FOLLOWING:

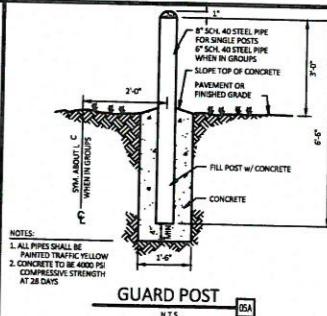
 - A. SOIL COMPACTION IN THE ROOT ZONE AREA RESULTING FROM VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT OR MATERIALS.
 - B. ROOT ZONE DISTURBANCES DUE TO GRADE CHANGES (GREATER THAN 6 INCHES CUT OR FILL) OR TRENCHING.
 - C. WOUNDS TO EXPOSED ROOTS, TRUNK OR LIMBS BY MECHANICAL EQUIPMENT.
 - D. OTHER ACTIVITIES DEDIMENTAL TO TREES SUCH AS CHEMICAL STORAGE, CEMENT TRUCK CLEANING, AND FIRES.

4. EXCEPTIONS TO INSTALLING FENCE 5' FROM TREE Drip LINES MAY BE PERMITTED IN THE FOLLOWING CASES:

 - A. WHERE PERMEABLE PAVING IS TO BE INSTALLED; ERECT THE FENCE AT THE OUTER LIMITS OF THE PERMEABLE PAVING AREA.
 - B. WHERE TREES ARE CLOSE TO THE PROPOSED BUILDING; ERECT THE FENCE NO CLOSER THAN 6 FEET TO THE BUILDING.

5. WHERE ANY OF THE ABOVE EXCEPTIONS RESULT IN A FENCE BEING CLOSER THAN 4 FEET TO A TREE TRUNK, PROTECT THE TRUNK WITH STRAPPED-ON PLANKING TO A HEIGHT OF 8 FEET (OR TO THE LIMITS OF LOWER BRANCHES) IN ADDITION TO THE REDUCED FENCING PROVIDED.
6. WHERE ANY OF THE ABOVE EXCEPTIONS RESULT IN AREAS OF UNPROTECTED ROOT ZONES (UNDER Drip LINES), THOSE AREAS SHOULD BE COVERED WITH 4 INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION.
7. ALL GRADING WITHIN PROTECTED ROOT ZONE AREAS SHALL BE DONE BY HAND OR WITH SMALL FENCING TO 2 FEET BEHIND THE GRADE CHANGE AREA. NO ROOT OVER 1 INCH DIAMETER WILL BE CUT.
8. ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED WITH A CLEAN CUT FLUSH WITH THE SOIL. BACKFILL ROOT AREAS WITH GOOD QUALITY TOP SOIL IMMEDIATELY. IF EXPOSED ROOT AREAS ARE NOT BACKFILLED WITHIN 2 DAYS, COVER THEM WITH ORGANIC MATERIAL IN A MANNER WHICH REDUCES SOIL TEMPERATURE AND MINIMIZES WATER LOSS DUE TO EVAPORATION.
9. PRIOR TO EXCAVATION OR GRADE CUTTING WITHIN TREE Drip LINES, MAKE A CLEAN CUT BETWEEN THE DISTURBED AND UNDISTURBED ROOT ZONES WITH A ROCK SAW OR SIMILAR EQUIPMENT TO MINIMIZE DAMAGE TO REMAINING ROOTS.

10. TREES MOST HEAVILY IMPACTED BY CONSTRUCTION ACTIVITIES SHOULD BE WATERED DEEPLY ONCE A WEEK DURING PERIODS OF HOT, DRY WEATHER. TREE CROWNS SHOULD BE SPRAYED WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
11. NO CONDUIT OR UTILITIES CAN BE INSTALLED WITHIN TREE PROTECTION AREAS. ANY TRENCHING REQUIRED FOR THE INSTALLATION OF LANDSCAPE IRRIGATION SHALL BE PLACED AS FAR FROM EXISTING TREE TRUNKS AS POSSIBLE.
12. NO LANDSCAPE TOPSOIL DRESSING GREATER THAN 4 INCHES SHALL BE PERMITTED WITHIN THE Drip LINE OF TREES. NO SOIL IS PERMITTED ON THE ROOT FLARE OF ANY TREE. GRADING LIMITED TO 3 INCH CUT.
13. PRUNING TO PROVIDE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC AND EQUIPMENT SHALL TAKE PLACE BEFORE CONSTRUCTION BEGINS.
14. ALL PRUNING MUST BE DONE ACCORDING TO RECOGNIZED, APPROVED STANDARDS OF THE INDUSTRY (REFERENCE THE NATIONAL ARBORIST ASSOCIATION PRUNING STANDARDS FOR SHADE TREES) BY A CERTIFIED ARBORIST AND SHALL BE APPROVED AND SUPERVISED BY OWNER'S REPRESENTATIVE OR PROJECT URBAN FORESTER.
15. DAMAGE TO TREES OR ANY NATURAL RESOURCE DUE TO CONTRACTOR'S NEGLIGENCE DURING THE CONSTRUCTION PHASE SHALL BE APPRAISED BY THE OWNER'S REPRESENTATIVE AND ORDERED REPAIRED, REPLACED, OR COMPENSATED.

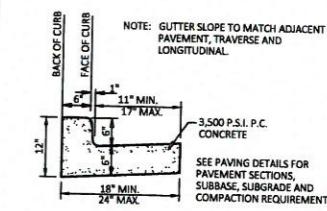


NOTES:

1. ALL PIPES SHALL BE PAINTED TRAFFIC YELLOW.
2. CONCRETE TO BE 4000 PSI COMPRESSIVE STRENGTH AT 28 DAYS

GUARD POST

N.T.S. [Drawing Number]

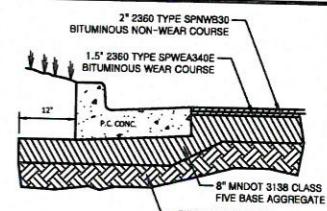


NOTE: GUTTER SLOPE TO MATCH ADJACENT PAVEMENT, TRAVERSE AND LONGITUDINAL.

SEE PAVING DETAILS FOR PAVEMENT SECTIONS, SUBBASE, SUBGRADE AND COMPACTION REQUIREMENTS.

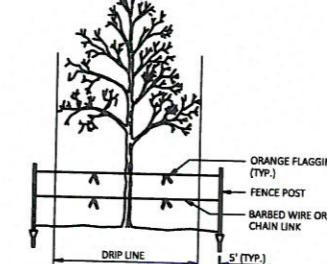
TYPE "A" CONCRETE CURB AND GUTTER

N.T.S. [Drawing Number]



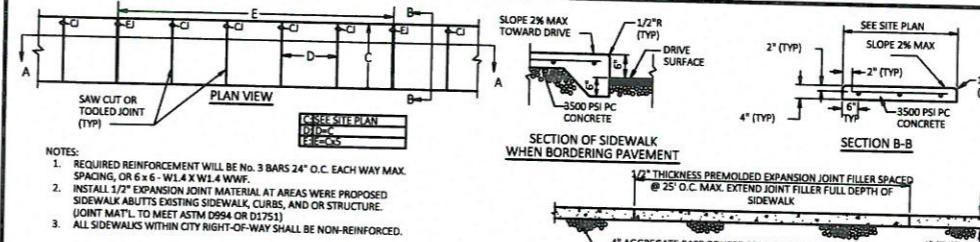
STANDARD DUTY
ASPHALT PAVING

N.T.S. [Drawing Number]



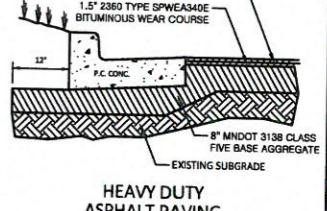
TREE PROTECTION

N.T.S. [Drawing Number]



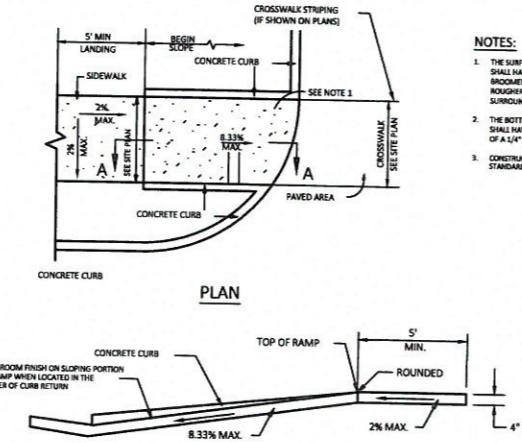
CONCRETE SIDEWALK

N.T.S. [Drawing Number]



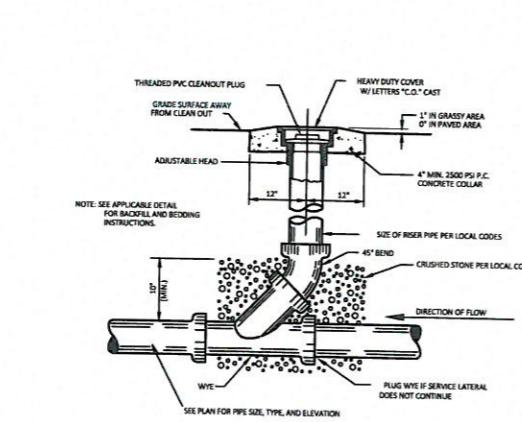
HEAVY DUTY
ASPHALT PAVING

N.T.S. [Drawing Number]



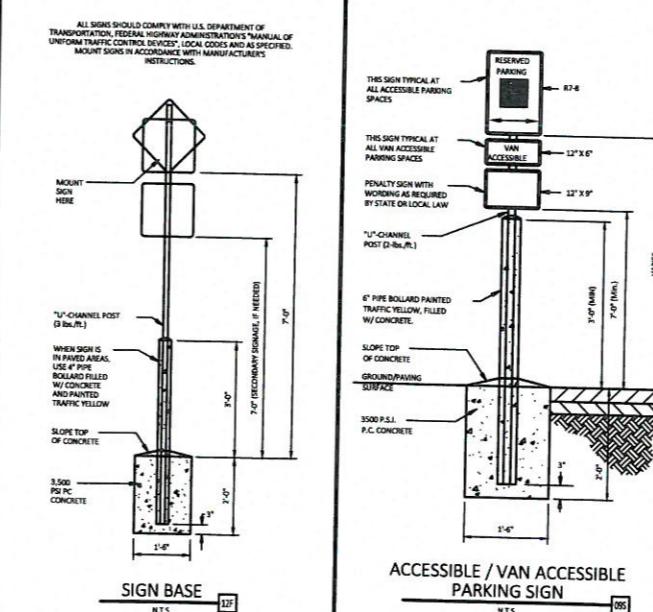
SECTION A-A WHEELCHAIR RAMP IN SIDEWALK AT DRIVEWAY CURB RETURN WITH SIDE CURB

N.T.S. [Drawing Number]



SANITARY SEWER CLEAN-OUT

N.T.S. [Drawing Number]

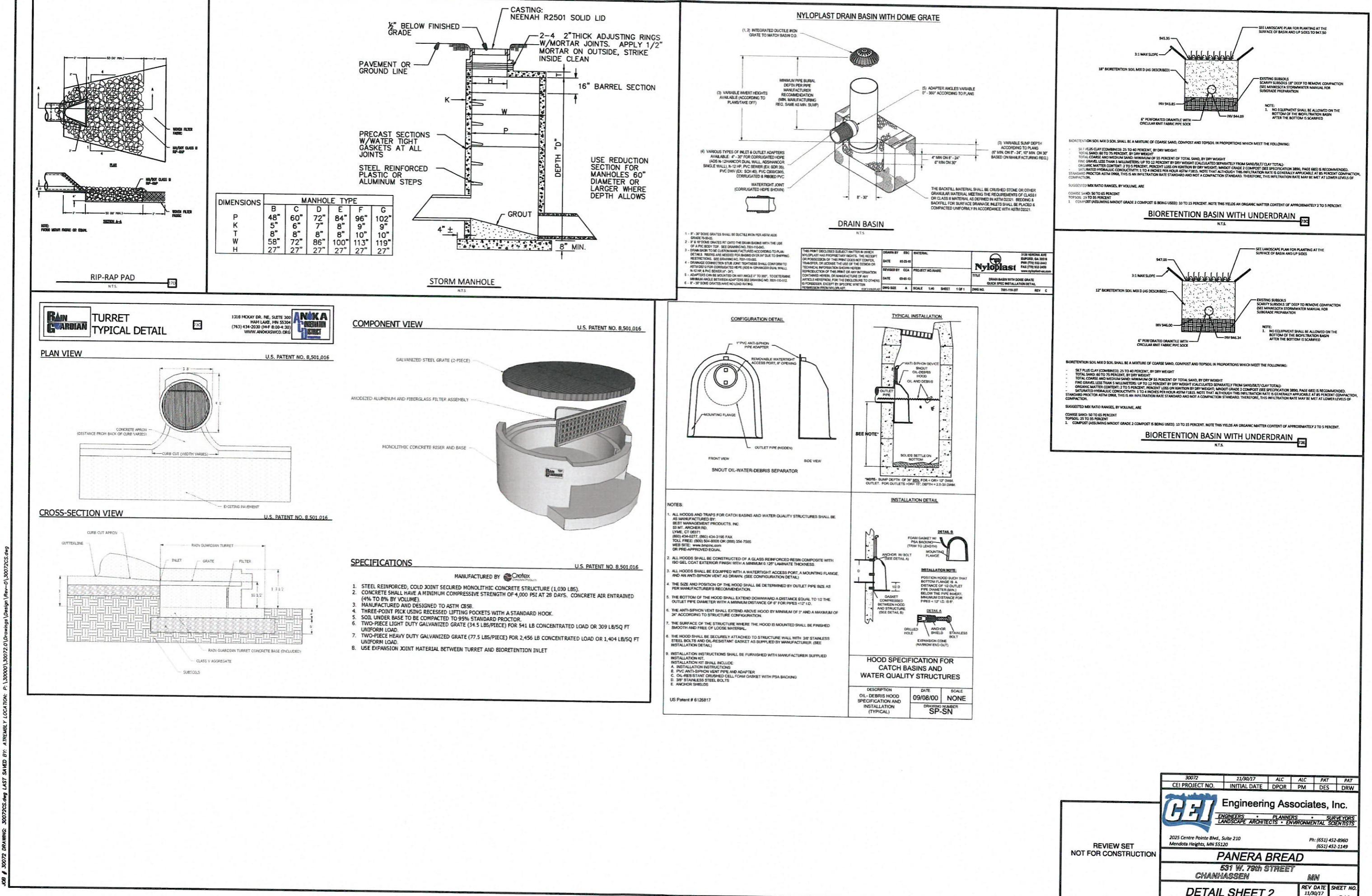


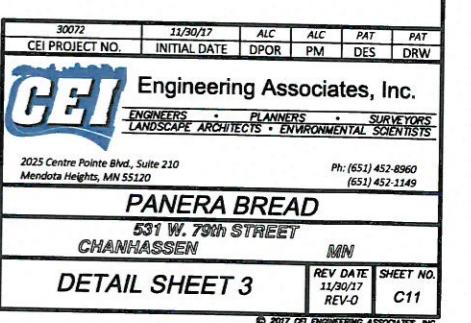
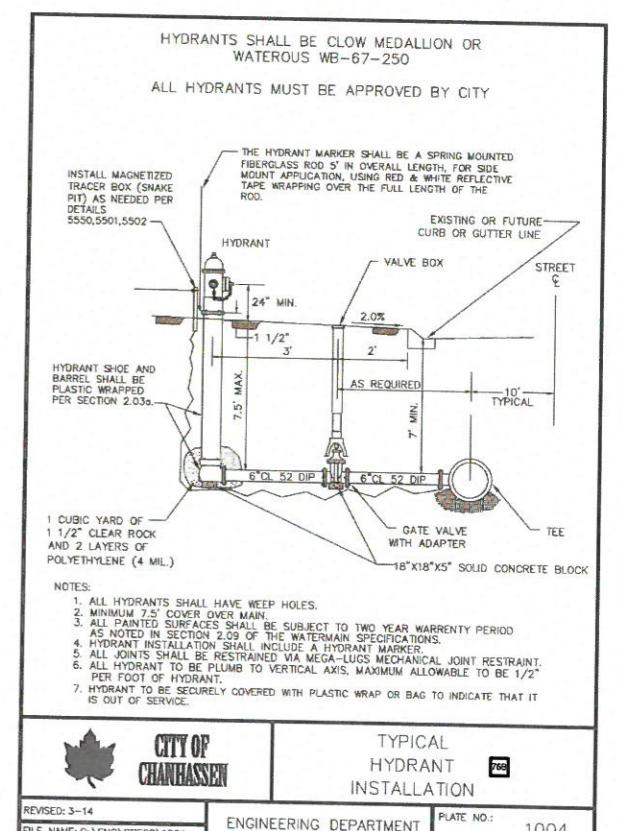
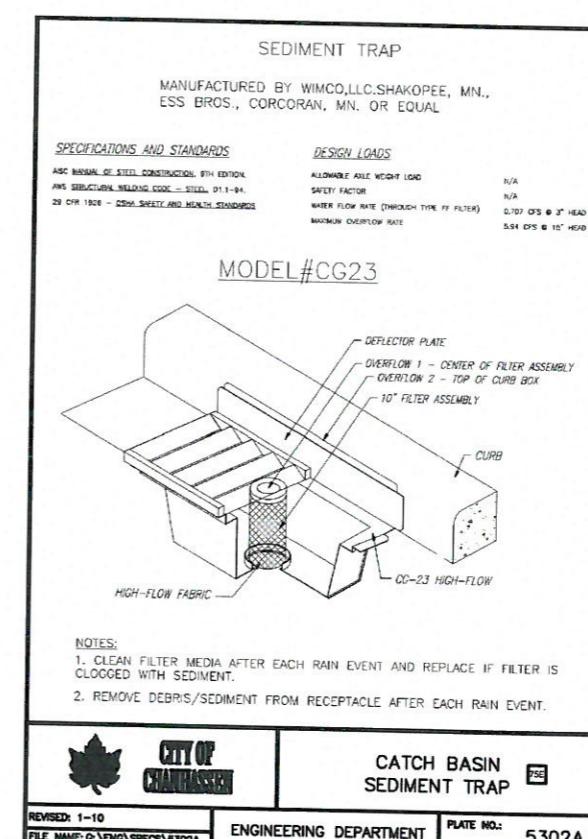
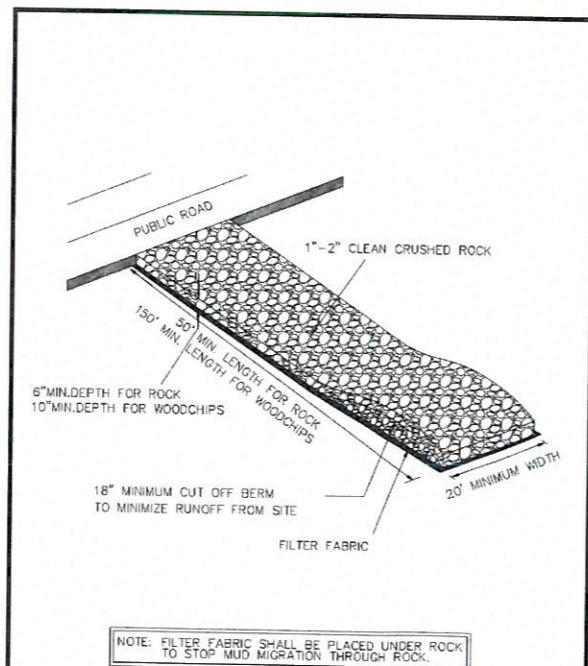
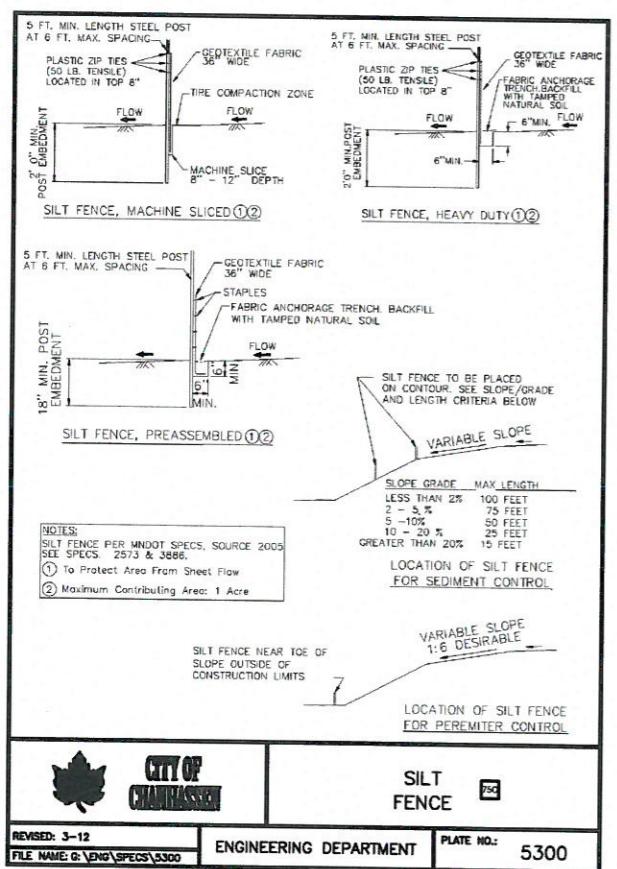
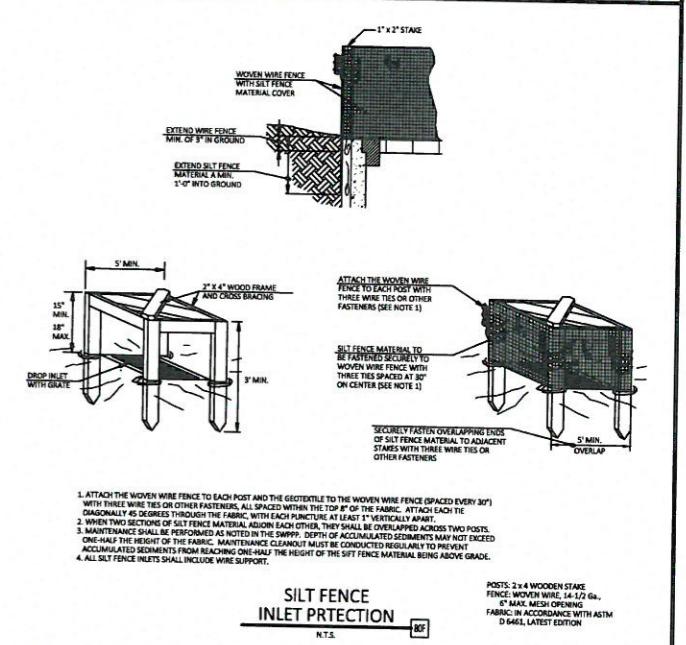
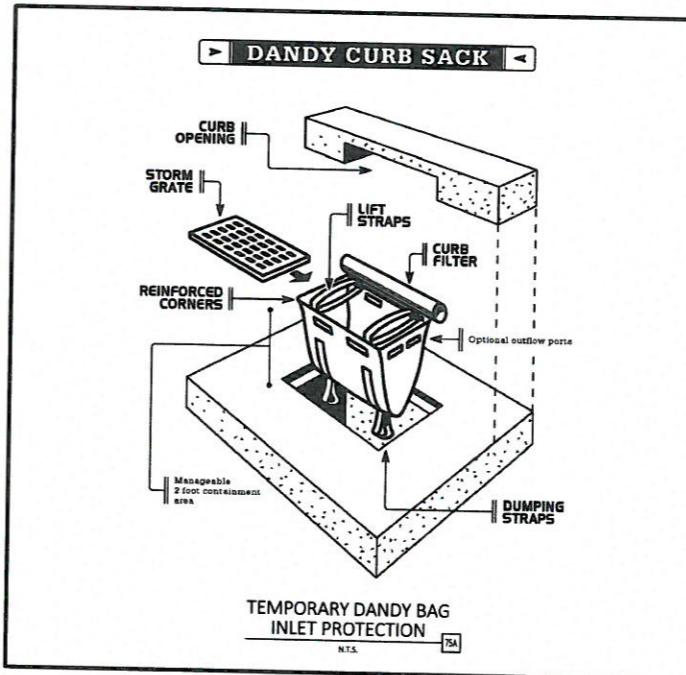
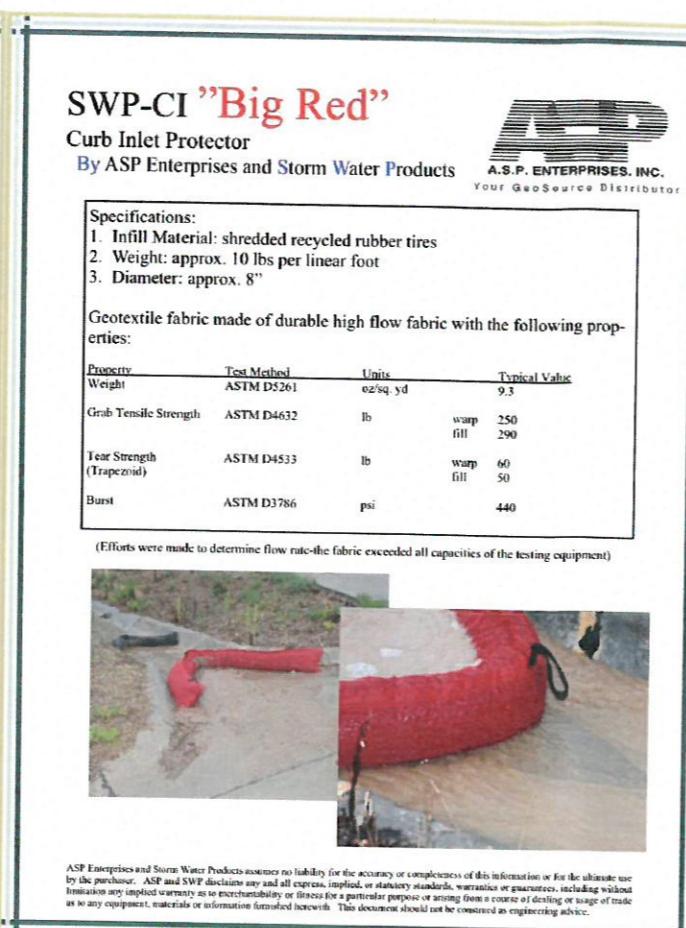
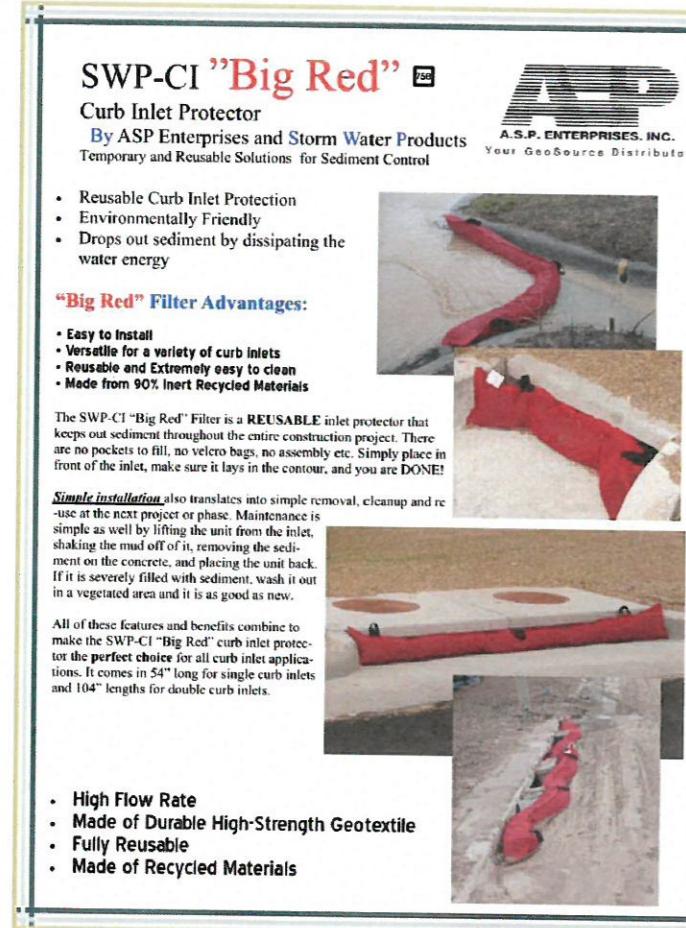
REVIEW SET
NOT FOR CONSTRUCTION

30072
CEI PROJECT NO. INITIAL DATE DPOR PM DES DRW
11/30/17
2025 Centre Pointe Blvd, Suite 210
Mendota Heights, MN 55120
Ph: (651) 452-8960
(651) 452-1149
CEI Engineering Associates, Inc.
ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS

PANERA BREAD
531 W. 78th STREET
CHANHASSEN MN

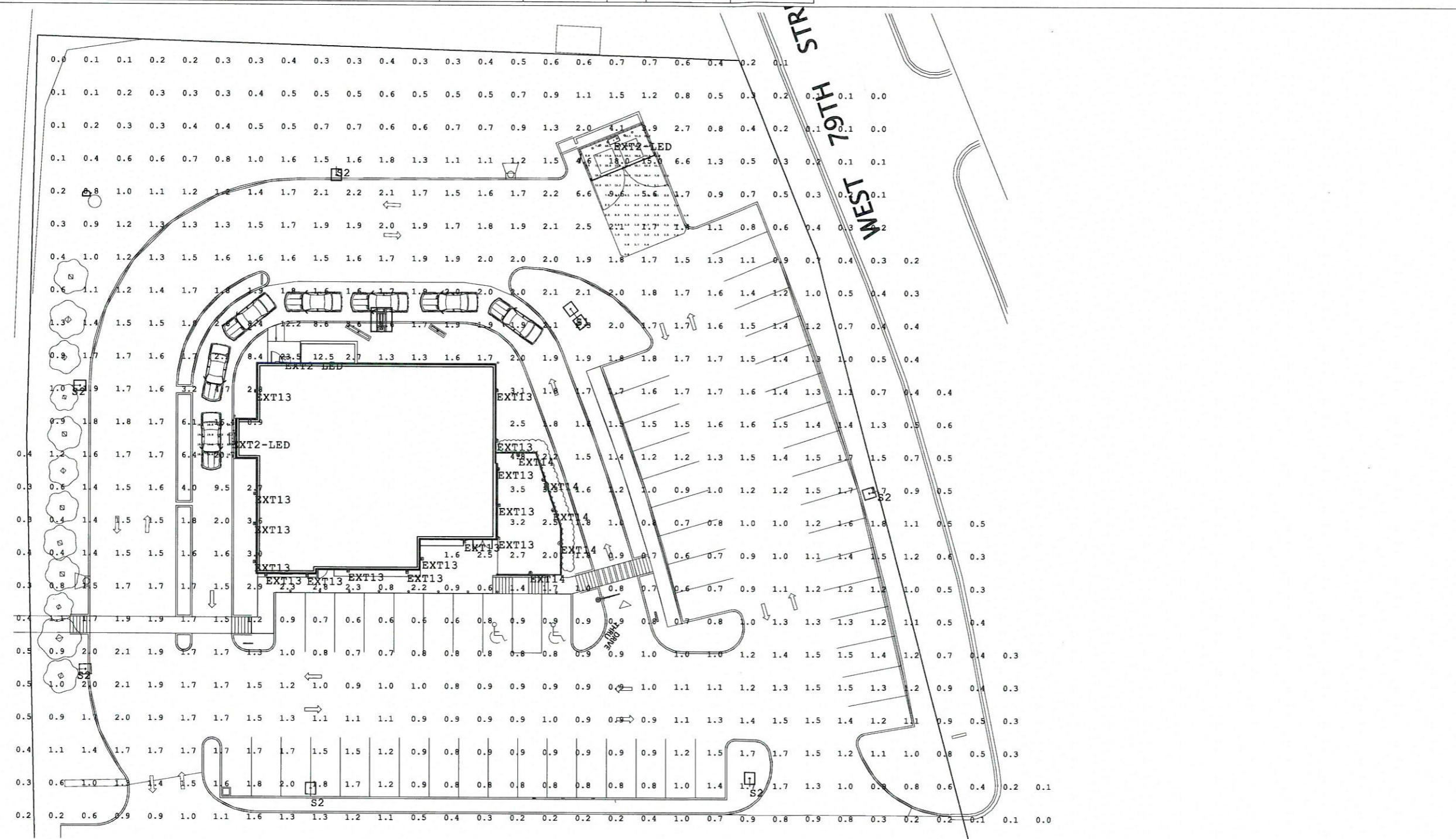
DETAIL SHEET 1
REV 11/30/17
C9





Standard Electric Luminaires Schedule										
Symbol	Qty	Label	Arrangement	Manufacturer	Description	Total Lumens	Total Wattage	LLF	BUG Rating	Mounting Height
	1	S1	2 @ 180 DEG (B)	Lithonia Lighting	DSX1 LED 30C 1000 40K T5W MVOLT	23622	210	0.920	B4-U2-G2	25'
	6	S2	SINGLE	Lithonia Lighting	DSX1 LED 30C 1000 40K T3M MVOLT MA	10201	104.66	0.920	B2-U3-G2	25'
	3	EXT2-LED	SINGLE	Lithonia Lighting	KAXW LED P3 40K R3 MVOLT	9446	79	0.880	B2-U2-G2	25'
	15	EXT13	SINGLE	Amerlux, LLC	ACCS-27K-60	548	9	0.880	N.A.	10'
	5	EXT14	SINGLE	Green Creative Ltd	49063OZ	889	8.8	0.720	B0-U3-G1	6'

Calculation Summary							
Label	CalcType	Avg	Max	Min	Avg/Min	Max/Min	Units
Drive Thru	Illuminance	19.59	23.8	15.9	1.23	1.50	Fc
Panera Site	Illuminance	1.46	23.5	0.0	N.A.	N.A.	Fc
Trash Enclosure	Illuminance	7.50	20.2	1.2	6.25	16.83	Fc



Project #:	Revision #:	Date:	Project: Panera Bread #6038 Chanhassen, NM	Rev. #	Description	Rev. Date
13-6038	XX	10/25/2017		R1	Initial	10/25/2017
Created By:	Size:	Page #:	ARCHD	R2	Initial	10/25/2017
Ryan Hunt		Page 1 of 1		R3	Initial	10/25/2017
				R4	Initial	10/25/2017

11/20/2017 6:29:08 PM



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No.	Description	Date
1	Owner Comments	11/2/17

**EXTERIOR
PERSPECTIVE
VIEWS**

Project Number: 170317 Sheet Number:
Drawn By: ARCV, MH Issue Date:
09.27.17 DPM: DM: CPM:
BRIAN B. DAN C. KEVIN C.

A300



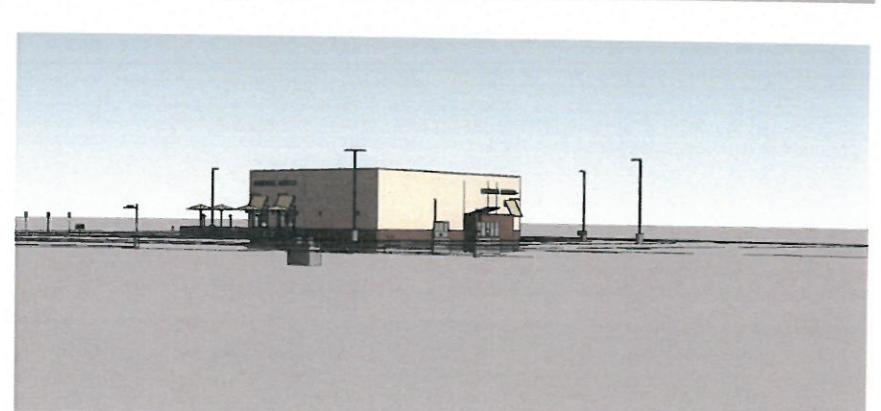
3 | View from across street



4 | View from Entry Drive



5 | View from 36th & Broadway



6 | View from HyVee



1 | 3D View 1



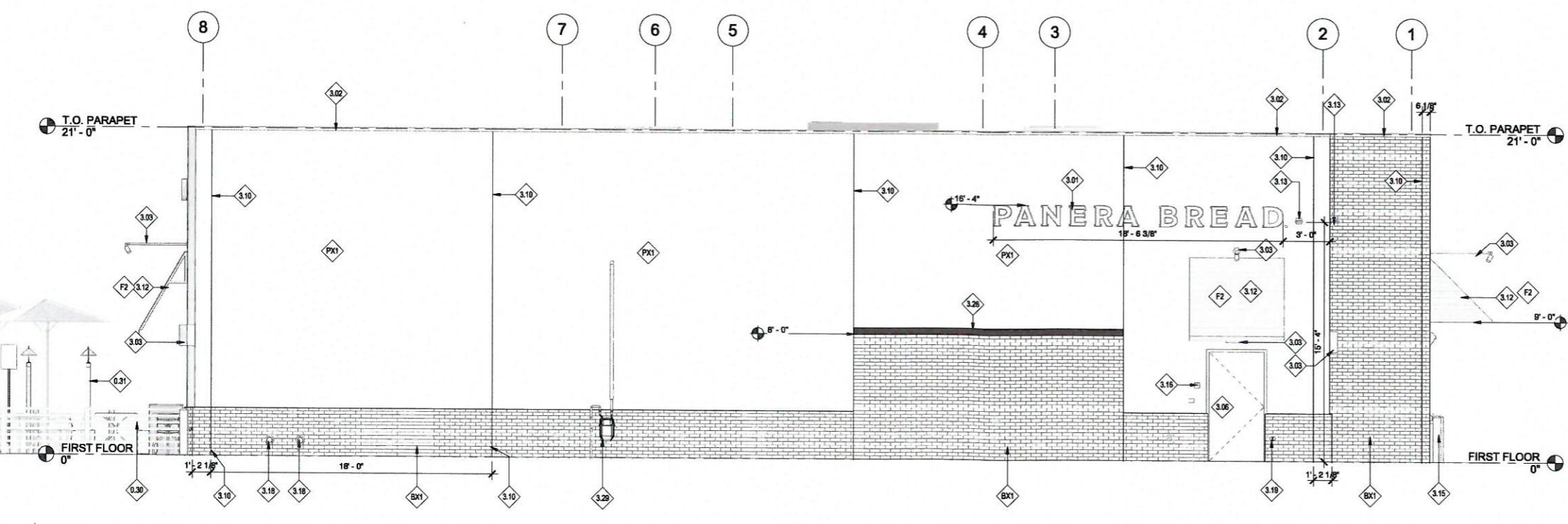
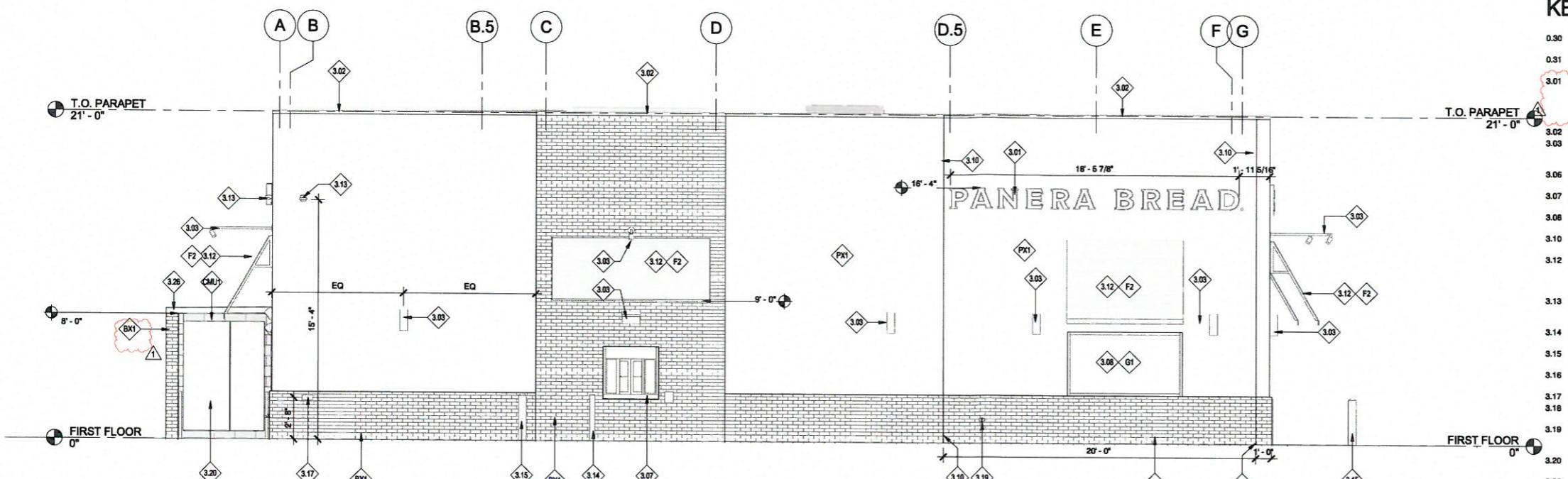
2 | 3D View 2

GENERAL NOTES:

A. ALL GLAZING TO BE G1 UNLESS NOTED OTHERWISE. FOR STOREFRONT / WINDOW ELEVATIONS SEE SHEET A611.

KEYED NOTES

0.30 PATIO RAILING BY PANERA, COLOR: CHARCOAL REFER TO 23/A014, BY TENANT
 0.31 PATIO SIDEWALK LIGHTS BY PANERA, REFER TO TENANT REFLECTED CEILING PLAN FOR FURTHER INFORMATION.
 0.31 INTERNALLY ILLUMINATED LED CHANNEL LETTERS, SIGN PROVIDED AND INSTALLED BY SIGN VENDOR UNDER SEPARATE PERMIT; G.C. TO PROVIDE BLOCKING IN WALL FOR SIGN AND PROVIDE ACCESS PANEL ON BACKSIDE OF PARAPET FOR ACCESS AS REQUIRED. (UNDER SEPARATE SIGNAGE PERMIT)
 0.32 PRE-FINISHED METAL COPING | FINISH: DARK BRONZE
 0.33 WALL MOUNTED LIGHT FIXTURE, FIXTURES SHALL BE PROVIDED AND INSTALLED BY G.C. G.C. TO PROVIDE POWER AS REQUIRED. REFER TO REFLECTED CEILING PLAN FOR ADDITIONAL INFORMATION.
 0.36 HOLLOW METAL SERVICE DOOR, REFER TO A601 FOR ADDITIONAL INFORMATION. | PAINT TO MATCH ADJACENT WALL COLOR.
 0.37 DRIVE-THRU WINDOW | MFR: QUIKSERV | MODEL: FM42E | COLOR TO MATCH STOREFRONT, INSTALLED BY LL.
 0.38 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLAZING, COLOR: DARK BRONZE REFER TO SHEET A611 FOR FURTHER INFORMATION.
 0.39 CONTROL JOINT(S) WHERE INDICATED | PROVIDE SEALANT TO MATCH ADJACENT WALL MATERIAL.
 0.312 PRE-MANUFACTURED FABRIC AWNING PROVIDED AND INSTALLED BY SIGN VENDOR UNDER SEPARATE PERMIT. G.C. SHALL PROVIDE APPROPRIATE BLOCKING AS REQUIRED BY SIGN VENDOR. REFER TO SHOP DRAWINGS FOR ADDITIONAL INFORMATION.
 0.13 SECURITY CAMERA INSTALLED BY TENANT | COORDINATE ROUGH-IN LOCATION(S) AND HEIGHTS WITH PANERA CONSTRUCTION MANAGER PRIOR TO INSTALLATION. G.C. TO RUN CONDUIT & J-BOX.
 0.14 4" DIA. CONCRETE BOLLARD | FINISH: PAINT CHARCOAL | REFER TO SHEET A014 FOR FURTHER INFORMATION.
 0.15 6" DIA. CONCRETE BOLLARD | FINISH: PAINT P107 | REFER TO SHEET A014 FOR FURTHER INFORMATION.
 0.16 FIRE DEPARTMENT ACCESS BOX | INSTALLED ADJACENT SERVICE DOOR, COORDINATE LOCATION WITH LOCAL FIRE DEPARTMENT.
 0.17 FIRE DEPARTMENT CONNECTION (FDC)
 0.18 NICKEL BRONZE NOZZLE RMH/OVERFLOW DRAIN THRU ROOF, MIN. 12" ABOVE GRADE. SEE DETAIL 24/A103. INSTALLED BY LL.
 0.19 HOSE BIBB | RECESSED STAINLESS STEEL BOX. REFER TO PLUMBING DRAWINGS FOR LOCATION AND ADDITIONAL INFORMATION. INSTALLED BY TENANT.
 0.20 GATE ENCLOSURE AT CART CORRAL | MFR: TREX COMPOSITE PLANK | COLOR: SADDLE | INSTALLED BY LL.
 0.26 STANDING SEAM METAL ROOFING, 12" SPACING. | COLOR: DARK BRONZE
 0.29 GAS METER - REFER TO PLUMBING DRAWINGS FOR FURTHER INFORMATION
 ▲ BX1 BRICK MASONRY SYSTEM VENEER TO BE PAINTED, MODULAR SIZE | MFR: ENDURAMAX, CLAY BRICK | COLOR: #AF-155 WEINMARANER
 ▲ CMU1 SMOOTH FACE CONCRETE BLOCK, PAINT TO MATCH MAIN BUILDING
 ▲ F2 FABRIC AWNING | OPEN ENDED SLAB | COLOR: SUNBRELLA - ASPEN, 3" PROJECTION / 4" HEIGHT AT TYPICAL & 4" PROJECTION @ DRIVE THRU
 ▲ G1 ALUMINUM STOREFRONT | 2" x 1/2" PROFILE | THERMAL BREAK | COLOR: DARK BRONZE | 1" CLEAR INSULATED GLAZING: PPG SOLARBAR 70X (OR APPROVED EQUAL) | REFER TO SHEET A611 FOR ADDITIONAL INFORMATION
 ▲ PX1 EIFS SYSTEM | TEXTURE: TO MATCH DRYVIT LIMESTONE FINISH | COLOR: BENJAMIN MOORE #965 BERBER WHITE



Bakery Cafe #6038
531 W. 79th Street
Chanhassen, MN 55317



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No.	Description	Date
1	Owner Comments	11/2/17

EXTERIOR
ELEVATIONS

Project Number: J70317
Drawn By: CAO, MH
Issue Date: 09.27.17
DPM: BRIAN B.
DM: DAN C.
CPM: KEVIN C.

A302

Bakery-Cafe:
#6038

Project Team:
ARQ INCORPORATED
SAINT LOUIS / DALLAS
ARCHITECTURE • ENGINEERING • STORE PLANNING



Professional Seal:

Project Title:

Bakery Cafe #6038
531 W. 79th Street
Chanhassen, MN 55317

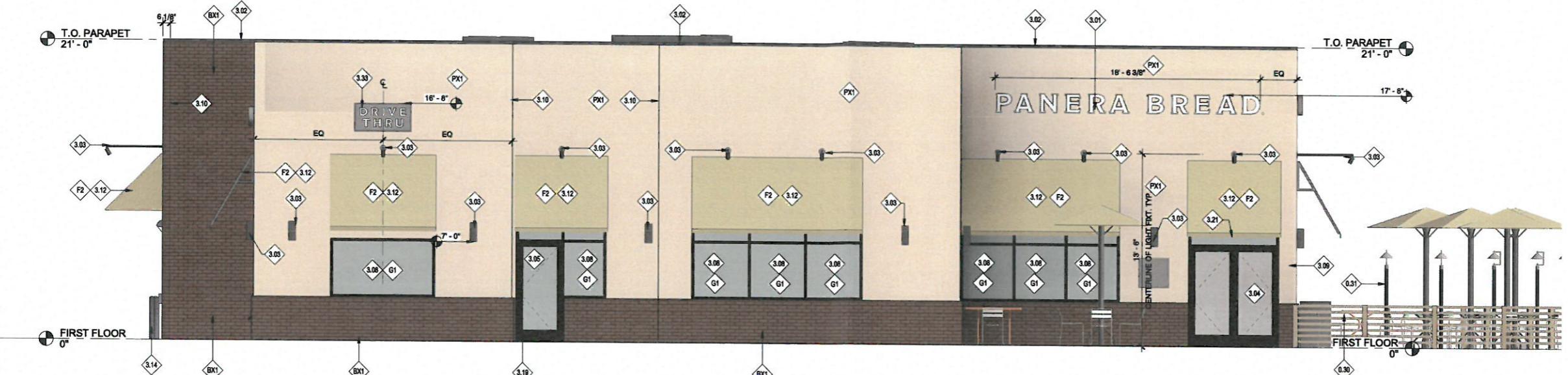


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No.	Description	Date

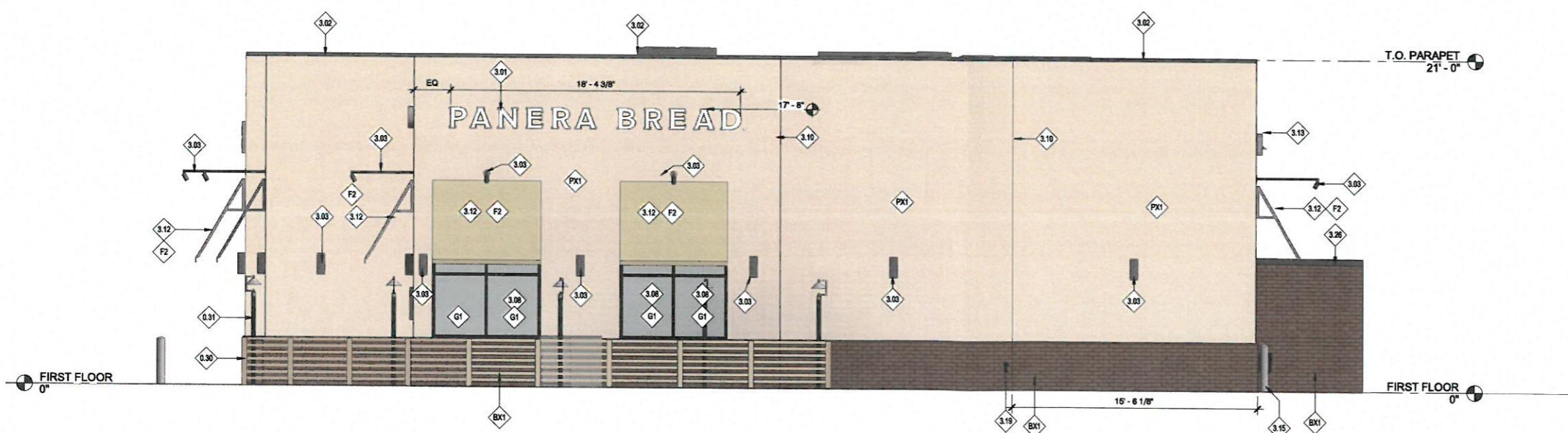
**ELEVATIONS -
REALISTIC**

Project Number: 170317
Drawn By: **A304**
Author: **BRIAN B.**
Issue Date: 08.27.17
DPM: **DAN C.**
DM: **KEVIN C.**
CPM:



1 | EAST ELEVATION Realistic

1/4" = 1'-0"



2 | NORTH ELEVATION Realistic

1/4" = 1'-0"

#6038

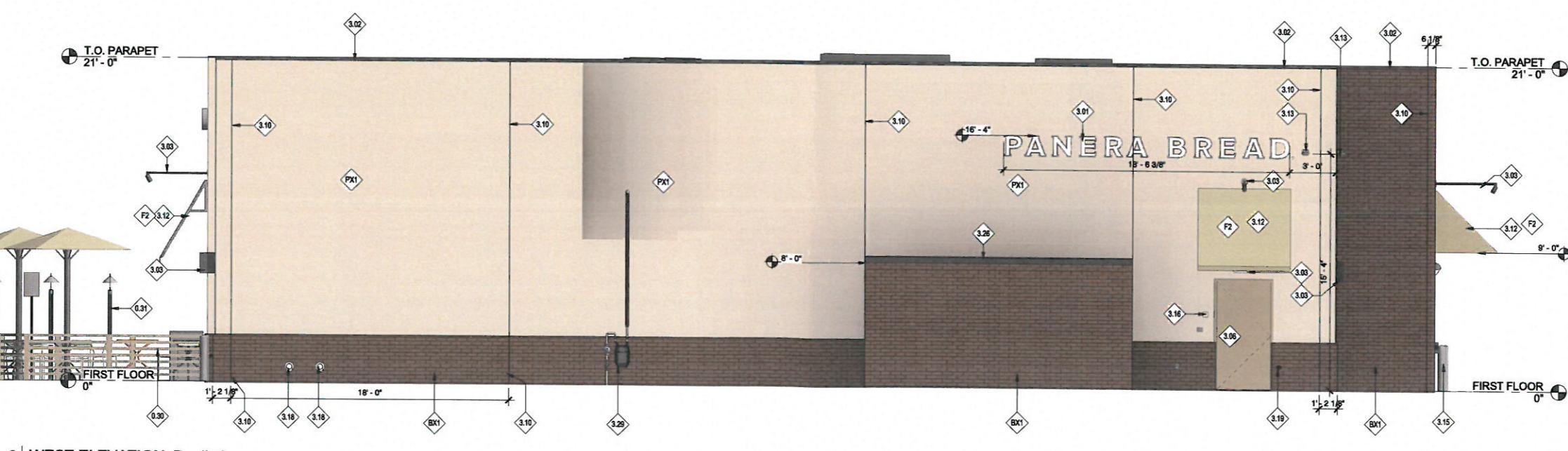
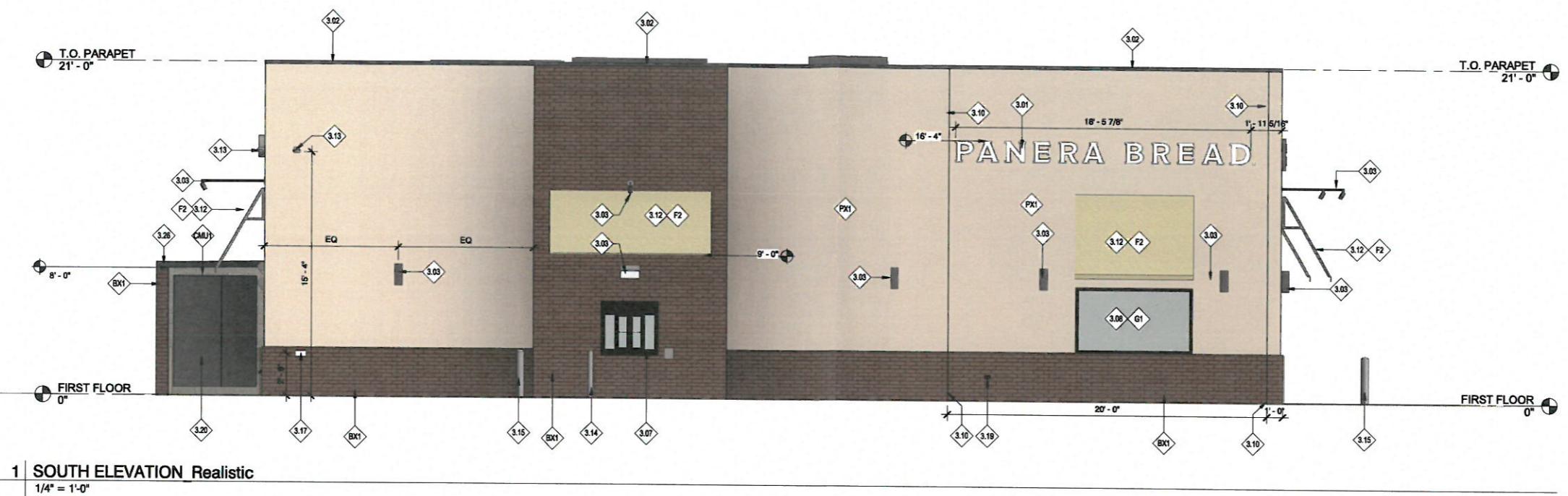


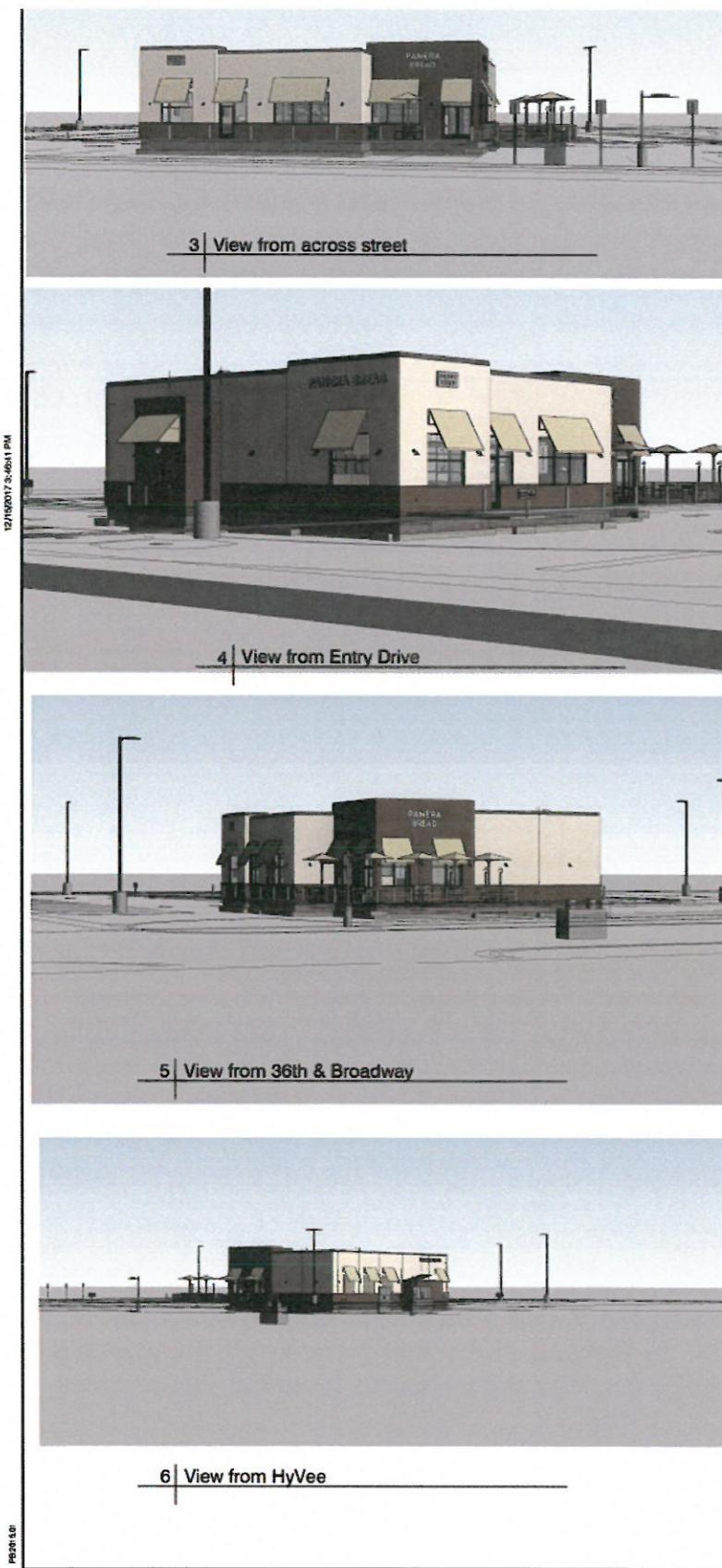
Bakery Cafe #6038
531 W. 79th Street
Chanhassen, MN 55317



No.	Description	Date

**ELEVATIONS -
REALISTIC, CONT.**





Comments

[?](#) Write a comment

Post a comment to start a discussion.
[@Mention](#) someone to notify them.

Comments

GENERAL NOTES:

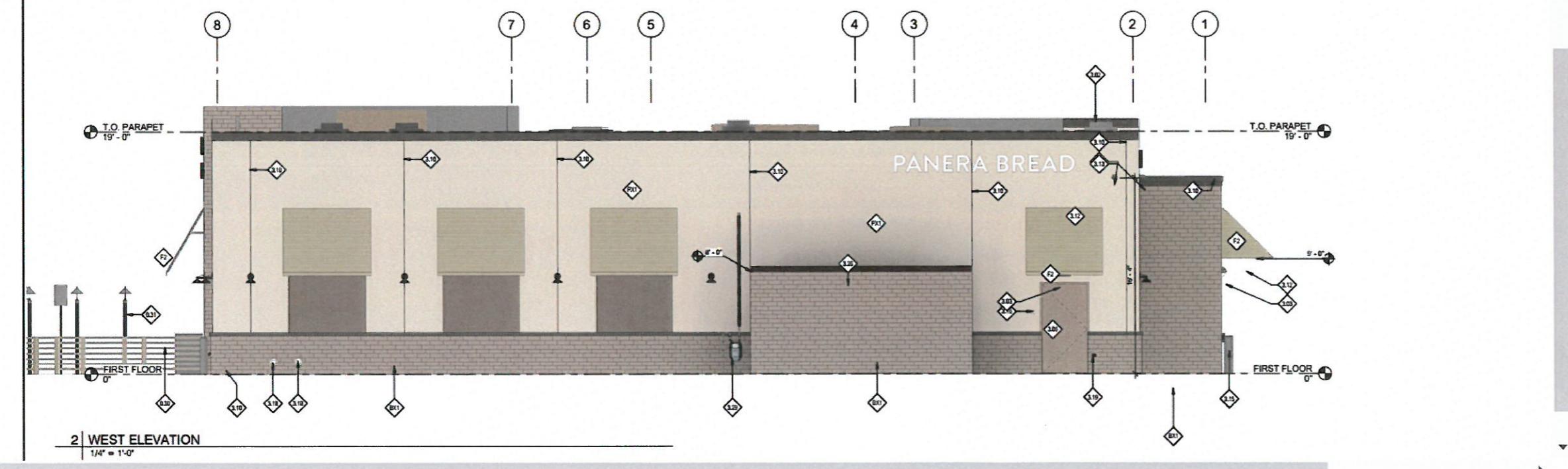
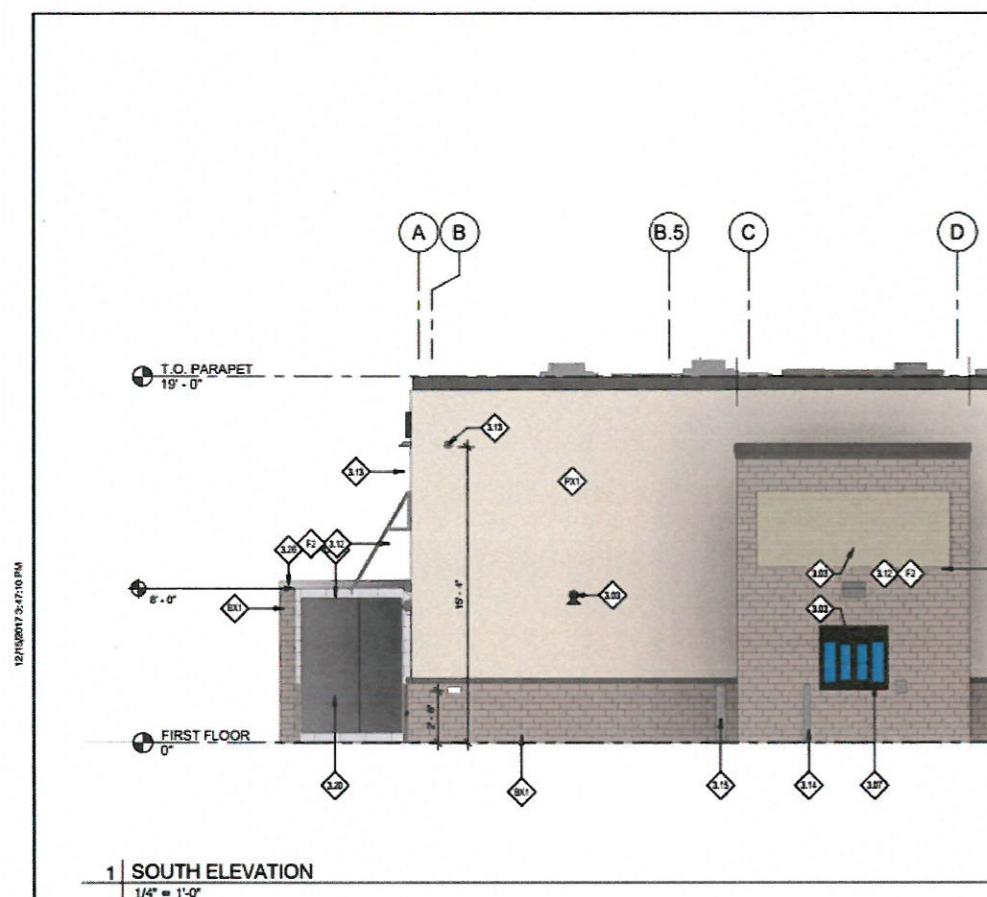
A. ALL GLAZING TO BE G1 UNLESS NOTED OTHERWISE. FOR STORE WINDOW ELEVATIONS SEE SHEET A611.

[?](#) Write a comment

KEYED NOTES

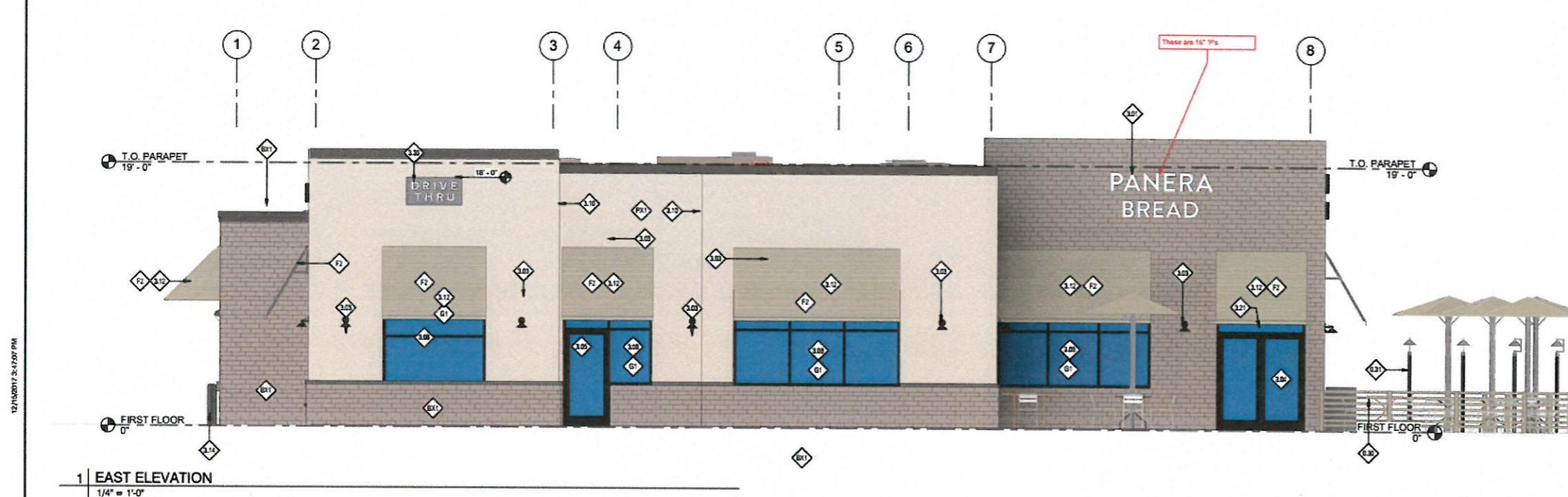
0.20 PATIO RAILING BY PANERA, COLOR: CHARCOAL REFER TO 23/A014, TENANT
 0.31 PATIO SIDEWALK LIGHTS BY PANERA, REFER TO TENANT REFLECTED CEILING PLAN FOR FURTHER INFORMATION.
 0.01 INTERNALLY ILLUMINATED LED CHANNEL LETTERS, SIGN PROVIDED INSTALLED BY SIGN VENDOR UNDER SEPARATE PERMIT; G.C. TO PROVIDE BLOCKING IN WALL FOR SIGN AND PROVIDE ACCESS PAN BACKSIDE OF PARAPET FOR ACCESS AS REQUIRED. REFER TO SHEET A611 FOR ADDITIONAL INFORMATION.
 0.02 PRE-FINISHED METAL COPING | FINISH: DARK BRONZE
 0.03 WALL MOUNTED LIGHT FIXTURE, FIXTURES SHALL BE PROVIDED AS INSTALLED BY GC. GC TO PROVIDE POWER AS REQUIRED. REFER TO REFLECTED CEILING PLAN FOR ADDITIONAL INFORMATION.
 0.06 HOLLOW METAL SERVICE DOOR, REFER TO A601 FOR ADDITIONAL INFORMATION | PAINT TO MATCH ADJACENT WALL COLOR.
 0.07 DRIVE-THRU WINDOW | MFR: QUIKSERV | MODEL: FM242 | COLOR MATCH STOREFRONT, INSTALLED BY LL
 0.08 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLAZING, COLOR DARK BRONZE REFER TO SHEET A611 FOR FURTHER INFORMATION.
 0.10 CONTRA JOINT(S) WHERE INDICATED | PROVIDE SEALANT TO MATCH ADJACENT WALL MATERIAL.
 0.12 PRE-MANUFACTURED FABRIC AWNING PROVIDED AND INSTALLED BY SIGN VENDOR UNDER SEPARATE PERMIT. GC SHALL PROVIDE APPROPRIATE BLOCKING AS REQUIRED BY SIGN VENDOR. REFER TO SHOP DRAWINGS FOR ADDITIONAL INFORMATION.
 0.13 SECURITY CAMERA INSTALLED BY TENANT | COORDINATE ROUGH-LOCATE (BL) AND ELEVATION WITH PANERA CONSTRUCTION MANAG PFOR TO ENSURE INSTALLATION. GC TO PROVIDE CONDUIT & JACOB.
 0.14 4" DIA. CONCRETE BOLLARD | FINISH: PAINT CHARCOAL | REFER TO SHEET A014 FOR FURTHER INFORMATION
 0.15 6" DIA. CONCRETE BOLLARD | FINISH: PAINT P107 | REFER TO SHEET A014 FOR FURTHER INFORMATION
 0.16 FIRE DEPARTMENT ACCESS BOX | INSTALLED ADJACENT SERVICE DOOR, COORDINATE LOCATION WITH LOCAL FIRE DEPARTMENT.
 0.18 NICKEL BRONZE NOZZLE RWL/OVERFLOW DRAIN THRU ROOF, MIN. ABOVE GRADE SEE DETAIL 24R103, INSTALLED BY LL
 0.19 HOLLOW RECESSED STAINLESS STEEL BOX | REFER TO PLUMBING DRAWINGS FOR LOCATION AND ADDITIONAL INFORMATION. INSTALLED BY TENANT.
 0.20 GATE ENCLOSURE AT CART CORRAL | MFR: TREX COMPOSITE PLATE COLOR: SADDLE | INSTALLED BY LL
 0.26 STANDING SEAM METAL ROOFING, 12" SPACING, COLOR: DARK BRONZE
 0.29 GAS METER - REFER TO PLUMBING DRAWINGS FOR FURTHER INFORMATION
 BX1 EXTERIOR VENEER SYSTEM VENEER TO BE PAINTED, MODULAR SIZE MFR: ENDURAMAX, CLAY BRICK | COLOR: #AF159 WEINMARMER CMU1 SMOOTH FACE CONCRETE BLOCK, PAINT TO MATCH MAIN BUILDING
 F2 FABRIC AWNING | OPEN ENDED SLAB | COLOR: SUNBRELLA - ASPI PROJECTION / HEIGHT AT TYPICAL 4' PROJECTION @ DRIVE THRU
 G1 ALUMINUM STOREFRONT | 2" x 4 1/2" PROFILE | THERMAL BREAK | COLOR: DARK BRONZE | 1" CLEAR INSULATED GLAZING: PPG SOLA 70XL (OR APPROVED EQUAL) | REFER TO SHEET A611 FOR ADDITIONAL INFORMATION
 PX1 EFS SYSTEM | TEXTURE: TO MATCH DRYVIT LIMESTONE FINISH | COLOR: BENJAMIN MOORE #955 BERBER WHITE

Post a comment to start a discussion.
[@Mention](#) someone to notify them.



Comments

? Write a comment

Post a comment to start a discussion.
@Mention someone to notify them.

KEYED NOTES

0.30 PATIO RAILING BY PANERA, COLOR: CHARCOAL REFER TO :
0.31 PATIO SIDEWALK LIGHTS BY PANERA, REFER TO TENANT RE
CEILING PLAN FOR FURTHER INFORMATION.
3.01 INTERNALLY ILLUMINATED LED CHANNEL LETTERS, SIGN PF
INSTALLED BY SIGN VENDOR UNDER SEPARATE PERMIT; G.
PROVIDE BLOCKING IN WALL FOR SIGN AND PROVIDE ACC
BACKSIDE OF PARAPET FOR ACCESS AS REQUIRED. (INCLUDE
SIGN VENDOR PERMIT).
3.02 WALL MOUNTED LIGHT FIXTURE, FIXTURES SHALL BE PRO
INSTALLED BY G.C. TO PROVIDE POWER AS REQUIRED.
REFLECTED CEILING PLAN FOR ADDITIONAL INFORMATION.
3.04 MAIN ENTRANCE/EXIT | REFER TO A601 AND A611 FOR ADD
INFORMATION.
3.05 SECONDARY ENTRANCE/EXIT | REFER TO A601 AND A611 FOR
ADDITIONAL INFORMATION.
3.08 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLA
DANT. REFER TO SHEET A611 FOR FURTHER INFOR
3.10 CONTROL JOINTS AS INDICATED | PROVIDE SEALANT
ADJACENT WALL MATERIALS.
3.12 PRE-MANUFACTURED FABRIC AWNING PROVIDED AND INST
SIGN VENDOR UNDER SEPARATE PERMIT. G.C. SHALL PROV
APPROPRIATE BLOCKING AS REQUIRED BY SIGN VENDOR. I
SHOP DRAWINGS FOR ADDITIONAL INFORMATION.
3.13 SECURITY CAMERA INSTALLED BY TENANT | COORDINATE I
LOCATION(S) AND HEIGHTS WITH PANERA CONSTRUCTION
PROVIDE SIGN VENDOR WITH PLANS, CONDUIT & J-BOX
3.14 4" O.D. CONCRETE BOLLARD | FINISH: PAINT P107 | R
SHEET A614 FOR FURTHER INFORMATION
3.15 6" O.D. CONCRETE BOLLARD | FINISH: PAINT P107 | REFER
A614 FOR FURTHER INFORMATION
3.19 HOSE BIBS | RECESSED STAINLESS STEEL BOX, REFER TO
DRAWINGS FOR LOCATION AND ADDITIONAL INFORMATION
BY TENANT.
3.21 BUILDING ADDRESS SIGN | VERIFY SIZE, LOCATION, AND S
LOCAL FIRE DEPARTMENT
3.26 STANDING SEAM METAL ROOFING, 12" SPACING. | COLOR:
BRONZE
3.33 INTERNALLY ILLUMINATED LED 'DRIVE THRU' SIGN BY TENA
BLACK CHANNEL WITH REVERSE (HALO) ILLUMINATION AND
LETTERS. ALL SIGNAGE UNDER SEPARATE PERMIT. G.C. S
PROVIDE BLOCKING IN WALL FOR SIGN AND PROVIDE ACC
BACKSIDE OF PARAPET FOR ACCESS AS REQUIRED.
EX1 F1: FABRIC AWNING | FABRIC TO BE PAINTED, MODUL
MTR, ENDURAMA, CLAY BRICK COLOR, 12' SPACING, 4' PRO
FABRIC AWNING | OPEN ENDED SIGN | COLOR: SUBMELL
PROJECTION / 4" HEIGHT AT TYPICAL 6' PROJECTION @ DI
G1 ALUMINUM STOREFRONT | 2" X 4 1/2" PROFILE | THERMAL 8
COLOR DARK BRONZE | 1" CLEAR INSULATED GLAZING; PP
70X1 (OR APPROVED EQUAL) | REFER TO SHEET A611 FOR
INFORMATION
P11 EIFS SYSTEM | TEXTURE: TO MATCH DRYVIT LIMESTONE FF
COLOR: BENJAMIN MOORE #955 BERGER WHITE

