

#### LEGEND:

- |   |                         |
|---|-------------------------|
| ● FOUND MONUMENT                          | ○ FIRE DEPT. CONNECTION |
| ○ SET 1/2" IRON PIPE MARKED RLS NO. 25718 | ○ CURB STOP             |
| ○ AIR CONDITONER                          | ○ WATER MANHOLE         |
| ○ ELECTRIC MANHOLE                        | ○ WATER METER           |
| ○ ELECTRIC METER                          | ○ POST INDICATOR VALVE  |
| ○ ELECTRIC PEDESTAL                       | ○ WATER VALVE           |
| ○ ELECTRIC TRANSFORMER                    | ○ BOLLARD               |
| ○ LIGHT POLE                              | ○ FLAG POLE             |
| ○ COY WIRE                                | ○ MAIL BOX              |
| ○ POWER POLE                              | ○ TRAFFIC SIGN          |
| ○ GAS MANHOLE                             | ○ UNKNOWN MANHOLE       |
| ○ GAS METER                               | ○ SOIL BORING           |
| ○ TELEPHONE MANHOLE                       | ○ 450.0 SPOT ELEVATION  |
| ○ TELEPHONE PEDESTAL                      | ○ TRAFFIC SIGNAL        |
| ○ SANITARY CLEANOUT                       | ○ CONIFEROUS TREE       |
| ○ SANITARY MANHOLE                        | ○ DECIDUOUS TREE        |
| ○ CATCH BASIN                             |                         |
| ○ STORM DRAIN                             |                         |
| ○ FLARED END SECTION                      |                         |
| ○ STORM MANHOLE                           |                         |
- 
- |                                |                           |
|--------------------------------|---------------------------|
| —U— UNDERGROUND ELECTRIC       | —U— UNDERGROUND CABLE TV  |
| —U— UNDERGROUND FREEZING OPTIC | —U— UNDERGROUND TELEPHONE |
| —U— OVERHEAD UTILITY           | —U— UNDERGROUND GAS       |
| —S— SANITARY SEWER             | —S— STORM SEWER           |
| —S— WATER MAIN                 | —S— FENCE                 |
| —S— CURB (TYPICAL)             | —S— CONTOURS              |
- 
- /// DENOTES APPROXIMATE PROJECTED DRIVE LOCATION PER DOC. NO. 633291

#### LEGAL DESCRIPTION:

The following Legal Description is as shown on Old Republic National Title Insurance Company Title Commitment No. ORTE743786 dated January 12, 2017.

Lot 3, Block 1, ZAMOR ADDITION, according to the recorded plat thereof, and situate in Carver County, Minnesota.

EXCEPTING therefrom Parcel 208A condemned by the State of Minnesota as evidenced by Final Certificate filed October 27, 1993 as Document No. 157032 and as depicted on MINNESOTA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY PLAT NO. 10-3 filed March 14, 1991 as Document No. 122284. (Abstract)

#### AREA:

TOTAL AREA = 62,077 SQ.FT.

#### EASEMENT NOTES:

The following exceptions are as shown on Old Republic National Title Insurance Company Title Commitment No. ORTE743786 dated January 12, 2017.

8. Storm Sewer and drainage easement per Book 126 of Deeds Page 3-4. (SHOWN GRAPHICALLY).
9. Drainage and utility easements as shown on the recorded plat of Frontier Development which underlies Zamor Addition. (SHOWN GRAPHICALLY).
10. Drainage and utility easements as shown on the recorded plat of Zamor Addition. (SHOWN GRAPHICALLY).
11. Terms and conditions of Contract for Private Redevelopment per Doc. No. 123421. (NOT SHOWN AFFECTS ENTIRE PARCEL)
12. No right of access to State Highway No. 5. Right per Final Certificate Doc. No. 157032 and as Minnesota Department of Transportation Right of Way Plat No. 10-3 per Doc. No. 122284. (SHOWN GRAPHICALLY)
13. Terms and conditions of Cross Easement for Parking per Doc. No. 198692. (NOT SHOWN - AFFECTS ENTIRE PARCEL AND PARCEL ADJACENT TO EAST)
14. Terms and conditions of Reciprocal Access Easement Agreement per Document No. 633291. (AFFECTS ENTIRE PARCEL AND ADJACENT PARCEL TO THE EAST. APPROXIMATE LOCATION OF THE PROTECTED DRIVE AREA SHOWN GRAPHICALLY PER SKETCH IN DOCUMENT)

#### SURVEY NOTES:

1. BEARINGS ARE BASED ON COORDINATES SUPPLIED BY THE CARVER COUNTY SURVEYORS OFFICE.
2. UNDERGROUND UTILITIES SHOWN PER GOPHER STATE ONE CALL LOCATES AND AS-BUILT PLANS PROVIDED BY THE CITY OF CHANHASSEN PUBLIC WORKS DEPARTMENT.
3. THERE MAY BE SOME UNDERGROUND UTILITIES; GAS, ELECTRIC, ETC. NOT SHOWN OR LOCATED.
4. RECONSTRUCTED DRIVE AND ADJACENT RESTAURANT PARKING RESURVEYED OCTOBER 2017.

#### FLOOD INFORMATION:

THIS PROPERTY LIES WITHIN THE UNSHADED ZONE C, AREAS OF MINIMAL FLOODING, AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP NUMBER 270051 0005B HAVING AN EFFECTIVE DATE OF JULY 2, 1979.

#### EXISTING PARKING:

THERE ARE 63 VISIBLE PARKING STALLS DESIGNATED ON THIS PARCEL INCLUDING 1 HANDICAP STALL.

#### BENCHMARKS:

ELEVATIONS BASED ON INFORMATION AS SHOWN ON THE MNDOT GEODETIC WEBSITE. SURVEY DISK 1002 W WITH AN ELEVATION OF 954.9 WAS USED TO ESTABLISH VERTICAL CONTROL FOR THIS SURVEY (NAVD 88)

#### CERTIFICATION:

To: Chanhassen Inn, Inc., Old Republic National Title Insurance company, S their successors and assigns: This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2015 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 7(c) 8, 9, 11, 16, 17, 18, and 19 of Table A thereof. The field work was completed on March 13, 2017 and Oct. 5, 2017.

CORNERSTONE LAND SURVEYING, INC.

Dated: 4-05-17  
Revised: 10-19-17

By: *Daniel L. Thurmes*  
Daniel L. Thurmes  
Minnesota License No. 25718

Old Republic National Title Insurance Company Title Commitment No. ORTE743786 dated January 12, 2017 as listed on this survey was relied upon for matters of record. Other easements may exist that were not shown in this commitment and are not shown on this survey.



#### UNDERGROUND UTILITIES NOTES:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. GOPHER STATE ONE CALL LOCATE TICKET NUMBER(S) 170650574. SOME MAPS WERE RECEIVED, WHILE OTHER UTILITIES DID NOT RESPOND TO THE LOCATE REQUEST. ADDITIONAL UTILITIES OF WHICH WE ARE UNAWARE MAY EXIST. OTHER UTILITIES MAY EXIST ON THIS SITE THAT WERE NOT MARKED UP.

531 W 79TH STREET

CHANHASSEN, MINNESOTA

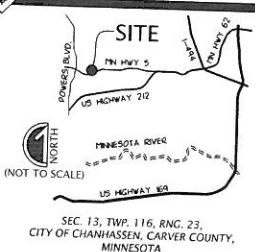
#### CONTACT:

CEI ENGINEERING ASSOCIATES  
Alan Catchpool, PE  
2025 Centre Pointe Blvd  
Suite 210  
Mendota Heights, MN 55120  
P:651-452-8960

#### COUNTY/CITY:

CARVER COUNTY  
CITY OF CHANHASSEN

#### VICINITY MAP:

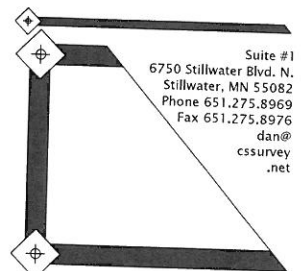


#### REVISIONS:

DATE	REVISION
04-05-17	INITIAL ISSUE
10-19-17	ADD DRIVE TOPO

#### PROJECT LOCATION:

531  
W. 79TH STREET  
PID#258900030



Suite #1  
6750 Stillwater Blvd. N.  
Stillwater, MN 55082  
Phone 651.275.8969  
Fax 651.275.8976  
dan@cssurvey.net

FILE NAME: SURVC86  
PROJECT NO.: CE17086

CERTIFICATE OF SURVEY



# SITE DEVELOPMENT PLANS

# PANERA BREAD

# 531 W. 79th STREET

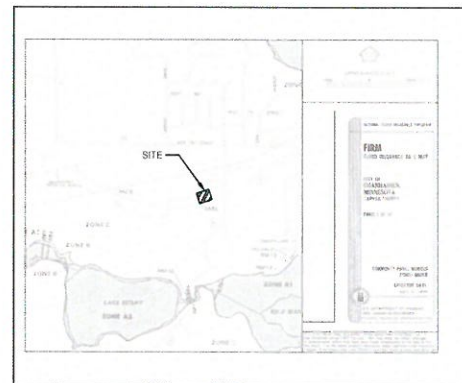
## CHANHASSEN, MN

### GENERAL NOTES:

- A. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY, AS A CONTRACTOR TO THE SELLER/OWNER:
- TOPOGRAPHY: CORNERSTONE LAND SURVEYING, INC.  
6750 STILLWATER BLVD N., SUITE #1  
STILLWATER, MN 55082  
PHONE: 651-275-8969
- CEI ENGINEERING AND ITS ASSOCIATES WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS OR OMISSIONS RESULTING FROM SURVEY INACCURACIES.
- B. ALL PHASES OF SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNER / DEVELOPER SITE WORK SPECIFICATIONS.
- C. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.
- D. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- E. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- F. WARRANTY/DISCLAIMER: THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORANEOUS BASIS AT THE SITE.
- G. SAFETY NOTICE TO CONTRACTOR: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- H. ALL CONSTRUCTION IN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT ENGINEER.
- I. WETLANDS NOTE: ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.
- J. RESIDENT ENGINEERING SERVICES: WHEN REQUESTED BY THE OWNER, RESIDENT ENGINEERING SERVICES SHALL BE PROVIDED BY THE ENGINEERS (ON A TIME AND FREQUENCY BASIS) ACCEPTABLE TO THE CITY ENGINEER FOR IMPROVEMENTS TO PUBLIC WATER MAINS, PUBLIC SEWER, AND CITY STREETS. AT THE COMPLETION OF CONSTRUCTION, THE ENGINEER SHALL CERTIFY THE CONSTRUCTION TO BE IN COMPLIANCE WITH THE PLANS AND SPECIFICATIONS. THIS WORK WILL BE AT THE OWNER/DEVELOPER'S DIRECT EXPENSE AND SHALL BE COORDINATED WITH CEI ENGINEERING ASSOCIATES, INC. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE RESIDENT ENGINEER OF ANY PRECONSTRUCTION / CONSTRUCTION CONFERENCES AND ANY PUBLIC CONSTRUCTION 24 HOURS PRIOR TO SAID ACTION.

### FLOOD CERTIFICATION:

THIS PROPERTY LIES WITHIN THE UNSHADDED ZONE C, AREAS OF MINIMAL FLOODING, AS SHOWN BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP FOR THE CITY OF CHANHASSEN, MINNESOTA, COMMUNITY PANEL NUMBER 270051 0005 B  
EFFECTIVE DATE: JULY 2, 1979



**FLOOD MAP**

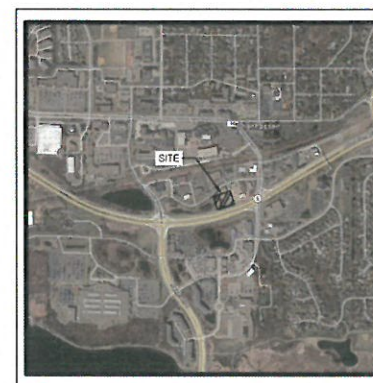
Not to Scale

THIS PROPERTY LIES WITHIN THE UNSHADDED ZONE C, AS SHOWN BY THE FIRM COMMUNITY PANEL NUMBER 270051 0005 B EFFECTIVE DATE: JULY 2, 1979



**SOILS MAP**

Not to Scale



**VICINITY MAP**

Not to Scale

### PLAN INDEX:

- C0 COVER SHEET
- C1 DEMOLITION PLAN
- C2 SITE PLAN
- C3 GRADING PLAN
- C4 EROSION CONTROL PLAN
- C5 EROSION CONTROL NOTES 1
- C6 EROSION CONTROL NOTES 2
- C7 UTILITY PLAN
- C8 LANDSCAPE PLAN
- C9 DETAIL SHEET 1
- C10 DETAIL SHEET 2
- C11 DETAIL SHEET 3

**CEI** Engineering Associates, Inc.  
ENGINEERS • PLANNERS • SURVEYORS  
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS  
2025 Centre Pointe Blvd., Suite 210 Ph: (651) 452-8960  
Mendota Heights, MN 55120 (651) 452-1149

### APPROVED

### DATE

CITY OF CHANHASSEN

RILEY PURGATORY BLUFF  
CREEK WATERSHED

### RESOURCE LIST:

ENGINEERING/TRAFFIC/WATER  
CITY OF CHANHASSEN  
STEPHANIE SMITH, PE  
7700 MARKET BLVD  
CHANHASSEN, MN 55317  
952-227-1165  
ssmith@ci.chanhassen.mn.us

ENGINEERING/STORMWATER  
CITY OF CHANHASSEN  
VANESSA STRONG  
7700 MARKET BLVD  
CHANHASSEN, MN 55317  
952-227-1168  
vstrong@ci.chanhassen.mn.us

PLANNING/ZONING  
CITY OF CHANHASSEN  
KATE AARHENSEN (CDD)  
7700 MARKET BLVD  
CHANHASSEN, MN 55317  
952-227-1139  
kaarhense@ci.chanhassen.mn.us

PLANNING DEPARTMENT  
CITY OF CHANHASSEN  
KORBE GENEKOR (PLANNER)  
7700 MARKET BLVD  
CHANHASSEN, MN 55317  
952-227-1131  
kgenerous@ci.chanhassen.mn.us

WATERSHED  
RILEY PURGATORY BLUFF CREEK  
CLAIRE BLESER  
14500 MARTIN DRIVE, SUITE 1500  
EDEN PRAIRIE, MN 55344  
952-607-6512  
cbleser@rpbwcd.org

### DEVELOPER:

PANERA, LLC  
3630 SOUTH GEYER ROAD, SUITE 100  
ST. LOUIS, MO 63127  
PHONE: 314-984-2609  
BRIAN BARNARD  
SR. DEVELOPMENT PROJECT MANAGER

### ARCHITECT:

ARCVISION, INC.  
1950 CRAIG ROAD, SUITE 300  
ST. LOUIS, MO 63146  
PHONE: 314-415-2325  
MATTHEW HINCHCLIFFE  
MHINCHCLIFFE@ARCV.COM

### CIVIL ENGINEER:

CEI ENGINEERING ASSOCIATES, INC.  
2025 CENTRE POINTE BLVD,  
SUITE 210  
MENDOTA HEIGHTS, MN 55120  
PHONE: 651-452-8960  
ALAN CATCHPOOL, PE, CPESC

CITY OF CHANHASSEN  
RECEIVED  
DEC 01 2017  
CHANHASSEN PLANNING DEPT

Arkansas \* California \* Minnesota \* Pennsylvania \* Texas

REVIEW SET  
NOT FOR CONSTRUCTION

JOB NO.: 30072  
DWG NAME: 30072CS  
DATE: 11/30/17  
TIME: 2:12 PM  
REV: 0  
SHEET NO.: C0

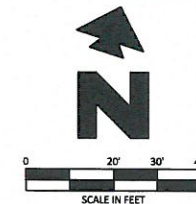
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**SITE BENCHMARK**  
ELEVATIONS BASED ON INFORMATION AS SHOWN ON THE MANDOT  
GEODETIC WEBSITE. SURVEY DISK 1002 W WITH AN ELEVATION OF 954.9  
WAS USED TO ESTABLISH VERTICAL CONTROL.  
(BENCHMARK: TOP NUT OF FIRE HYDRANT, ELEVATION=951.71)



Know what's below.  
Call before you dig.



#### EXISTING LEGEND

FOUND MONUMENT	FIRE DEPT. CONNECTION	UNDERGROUND ELECTRIC
SET 1 1/2" IRON PIPE	HYDRANT	UNDERGROUND CABLE TV
MARKED R.F.D. NO. 25 718	CURB STOP	UNDERGROUND FIBER OPTIC
CABLE TV PEDESTAL	WATER WELL	UNDERGROUND TELEPHONE
AIR CONDITIONER	WATER MANHOLE	OVERHEAD UTILITY
ELECTRIC MANHOLE	WATER METER	UNDERGROUND GAS
ELECTRIC METER	POST INDICATOR VALVE	SANITARY SEWER
ELECTRIC PEDESTAL	WATER VALVE	STORM SEWER
ELECTRIC TRANSFORMER	FLAG POLE	WATERMAIN
LIGHT POLE	ROLLROAD	POKE
GUY WIRE	MAIL BOX	CURB ELEVATION
POWER POLE	TRAFFIC SIGN	CONTOURS
GAS MANHOLE	UNKNOWN MANHOLE	
GAS METER	SOIL BORING	
TELEPHONE MANHOLE	SPOT ELEVATION	
TELEPHONE PEDESTAL	TRAFFIC SIGNAL	
SANITARY CLEANOUT	CONIFEROUS TREE	
CATCH BASIN	DECIDUOUS TREE	
STORM DRAIN		
FLARED END SECTION		
STORM MANHOLE		

#### GENERAL DEMOLITION NOTES

- THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE "OWNERS STANDARD SITE WORK SPECIFICATIONS".
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- ENGINEER'S NOTICE TO CONTRACTOR  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

#### DEMOLITION NOTES

- 18A EXISTING TO BE REMOVED.  
18B EXISTING TO BE RELOCATED.  
19A EXISTING TO REMAIN.  
51B LIMITS OF SAWCUT AND PAVEMENT REMOVAL  
51D PROTECT EXISTING STRUCTURES AND/OR PIPES DURING DEMOLITION AND CONSTRUCTION PHASES.

#### DEMOLITION DETAILS

50H TREE PROTECTION

REVIEW SET  
NOT FOR CONSTRUCTION

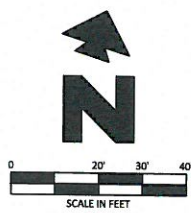
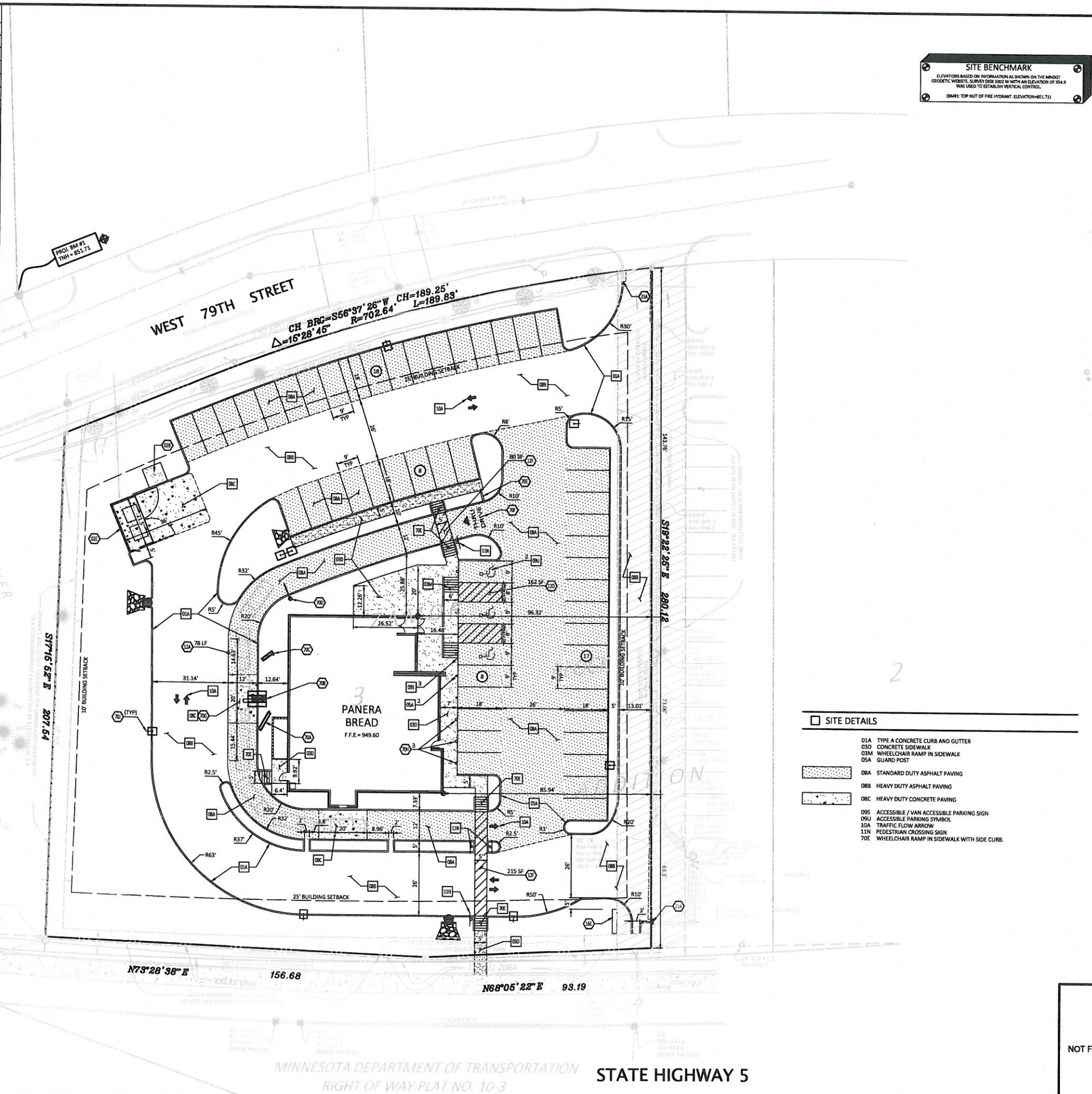
30072	11/29/17	ALC	ALC	PAT	PAT
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW
<b>CEI Engineering Associates, Inc.</b>					
ENGINEERS • PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS					
2025 CENTRE POINT BLVD., SUITE 210 MENDOTA HEIGHTS, MN 55120					
PH: (651) 452-8960 (651) 452-1149					
<b>PANERA BREAD</b>					
531 W. 79TH STREET CHANNASSEN, MN					
DEMOLITION PLAN					
REV DATE 11/20/17 REV-0	SHEET NO. C1				

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JOB # 30072 DRAWING: 30072SP.dwg LAST SAVED BY: ATREMBLY LOCATION: P: 30000 30072 0 Drawings Design (Rev: 0) 30072SP.dwg



SITE DATA		
OVERALL DATA AREA	63,153 S.F.	1.45 AC
EXISTING IMPERVIOUS AREA	44,225 S.F.	70.03 %
EXISTING PERVIOUS AREA	18,928 S.F.	29.97 %
PROPOSED BUILDING AREA	4,486 S.F.	7.10 %
PARKING LOT AREA	36,146 S.F.	57.24 %
TOTAL IMPERVIOUS AREA	40,632 S.F.	64.34 %
PROPOSED PERVIOUS AREA	22,521 S.F.	35.66 %
ALLOWABLE IMPERVIOUS COVER		65%
ZONING:	BH (HIGHWAY BUSINESS DISTRICT)	
PARKING	REQUIRED	PROVIDED
9'x18' STALLS - 1 SPACE/80 SF	56	48
HANDICAP STALLS	3	3
TOTAL PARKING	56	51
BLDG. HEIGHT	50' MAX	
BLDG. SPECIFIC USES	BAKERY/RESTAURANT	



NOTE:  
SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF  
PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING  
UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

#### EXISTING LEGEND

- FOUND MONUMENT
- SET 1/2" HIGH PIPE
- MARKED RLS NO. 25716
- CABLE TV PEDISTAL
- AIR CONDITIONER
- ELECTRIC MANHOLE
- ELECTRIC METER
- ELECTRIC PEDISTAL
- ELECTRIC TRANSFORMER
- LIGHT POLE
- CITY WIRE
- POWER POLE
- GAS MANHOLE
- GAS METER
- TELEPHONE MANHOLE
- TELEPHONE PEDISTAL
- SANITARY CLEANOUT
- SANITARY MANHOLE
- CATCH BASIN
- STORM DRAIN
- FLARED END SECTION
- STORM MANHOLE
- FIRE DFT. CONNECTION
- HYDRANT
- CURB STOP
- WATER WELL
- WATER MANHOLE
- WATER METER
- POST INDICATOR VALVE
- WATER VALVE
- BOLLARD
- MAIL BOX
- TRAFFIC SIGN
- UNKNOWN MANHOLE
- SOIL BORING
- SPOT ELEVATION
- TRAFFIC SIGNAL
- CONIFEROUS TREE
- DECIDUOUS TREE
- UNDERGROUND ELECTRIC
- UNDERGROUND CABLE TV
- UNDERGROUND FIBER OPTIC
- UNDERGROUND TELEPHONE
- OVERHEAD UTILITY
- UNDERGROUND GAS
- STORM SEWER
- WATERMAIN
- FENCE
- CURB (TYPICAL)
- CONTOURS

#### PROPOSED

- PROPERTY LINE/RIGHT OF WAY LINE
- CONCRETE CURB AND GUTTER. SEE DETAIL 01A.
- BUILDING CONTROL POINT
- PROPOSED PARKING SPACES
- LIMITS OF SIDEWALKS AND CONCRETE APRONS (PER ARCH. PLANS)

#### GENERAL SITE NOTES

- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL CURB RETURN RADI SHALL BE 3' OR 10', AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS: ALL CURB AND GUTTER ADJACENT TO ASPHALT PAVING SHALL BE INSTALLED PER DETAIL 01A. PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE PLAN. ALL PARKING LOT STRIPING INCLUDING ACCESSIBLE AND VAN ACCESSIBLE SPACES SHALL BE PAINTED PER THE PLAN.
- ALL PARKING LOT SIGN BASE SUPPORTS SHALL BE INSTALLED PER DETAIL 12F.
- ALL ACCESSIBLE PARKING STALLS SHALL HAVE SIGNAGE INSTALLED PER DETAIL 09S.
- THE PAVING CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE AND IRRIGATION CONTRACTORS TO ENSURE ALL SLEEVING IS INSTALLED PRIOR TO PAVING.
- ALL PAVING, SUBGRADE PREPARATION AND EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT PROVIDED BY BRAUN INTERTEC CORPORATION. PROJECT NUMBER B1702295 DATED JUNE 22, 2017.

#### SITE NOTES

- 02B TRANSFORMER PAD (PER ELEC. CO. AND/OR ARCH. PLANS).
- 02E TRASH DUMPSTER ENCLOSURE (PER ARCH. PLANS).
- 12A 4 INCH TRAFFIC YELLOW LANE STRIPE (SEE LENGTH INDICATED AT SYMBOL).
- 12D 4 INCH WIDE PAINTED YELLOW STRIPES. 2.0 FOOT O.C. @ 45 DEGREES (SEE SIZE INDICATED AT SYMBOL).
- 12F PEDESTRIAN CROSSING-4 INCH WIDE PAINTED YELLOW STRIPES. 2.0 FOOT O.C. @ 45 DEGREES (SEE SIZE INDICATED AT SYMBOL).
- 16E MONUMENT SIGN (PER ARCH. PLANS).
- 21A TAPER CURB TO MATCH EXISTING CURB.
- 21B TAPER CURB FROM 6 INCHES TO 0 INCHES OVER 2 FEET.
- 70A MENU BOARD (PER ARCH. PLANS).
- 70B MENU CANOPY (PER ARCH. PLANS).
- 70C PREVIEW BOARD (PER ARCH. PLANS).
- 70D CLEARANCE BAR (PER ARCH. PLANS).
- 70E DRIVE-THRU SIGN (PER ARCH. PLANS).
- 70F DRIVE-THRU PAVEMENT MARKING (PER ARCH. PLANS).
- 70G DETECTOR LOOP (PER ARCH. PLANS).
- 70H RAPID PICK-UP SIGN (PER ARCH. PLANS).
- 70I LIGHT POLE (PER ARCH. PLANS).

#### SITE DETAILS

- 01A TYPE A CONCRETE CURB AND GUTTER
- 03D CONCRETE SIDEWALK
- 03M WHEELCHAIR RAMP IN SIDEWALK
- 05A GUARD POST
- 08A STANDARD DUTY ASPHALT PAVING
- 08B HEAVY DUTY ASPHALT PAVING
- 08C HEAVY DUTY CONCRETE PAVING
- 09S ACCESSIBLE / VAN ACCESSIBLE PARKING SIGN
- 09U ACCESSIBLE PARKING SYMBOL
- 10A TRAFFIC FLOW ARROW
- 11N PEDESTRIAN CROSSING SIGN
- 70E WHEELCHAIR RAMP IN SIDEWALK WITH SIDE CURB.

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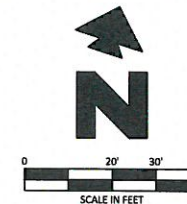
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531 W. 79TH STREET CHANNASSEN, MN					
<b>SITE PLAN</b>				REV DATE 11/30/17 REV-0	SHEET NO. C2



SITE BENCHMARK  
ELEVATIONS BASED ON INFORMATION AS SHOWN ON THE MANDATORY  
GEOGRAPHIC SURVEY DATA (GSD) WITH AN ELEVATION OF 854.9  
WAS USED TO ESTABLISH VERTICAL CONTROL.  
(BENCHMARK: TOP NUT OF FIRE HYDRANT, ELEVATION=851.71)



Know what's below.  
Call before you dig.



NOTE:  
SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF  
PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING  
UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

#### EXISTING LEGEND

FOUND MONUMENT SET 1/2" IRON PIPE MARKED RLS NO. 25118 CABLE TV PEDESTAL AIR CONDITIONER ELECTRIC MANHOLE ELECTRIC METER ELECTRIC PEDESTAL ELECTRIC TRANSFORMER LIGHT POLE CITY WIRE POWER POLE GAS MANHOLE TELEPHONE PEDESTAL TELEPHONE PEDESTAL SANITARY CLEANOUT SANITARY MANHOLE CATCH BASIN STORM DRAIN FLARED END SECTION STORM MANHOLE	FIRE DEPT. CONNECTION HYDRANT CURB STOP WATER WELL WATER MANHOLE WATER METER POST INDICATOR VALVE WATER VALVE ROLLAND FLAG POLE MAIL BOX TRAFFIC SIGN UNKNOWN MANHOLE SOIL BORING SPOT ELEVATION TRAFFIC SIGNAL CONIFEROUS TREE DECIDUOUS TREE	UNDERGROUND ELECTRIC UNDERGROUND CABLE TV UNDERGROUND FIBER OPTIC UNDERGROUND TELEPHONE OVERHEAD UTILITY UNDERGROUND GAS SANITARY SEWER STORM SEWER WATERMAIN FENCE CURB (TYPICAL) CONTOURS
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#### PROPOSED LEGEND

PROPERTY LINE/RIGHT OF WAY LINE
GRADE BREAK
CONTOUR ELEVATIONS
STORM DRAIN
SPOT ELEVATIONS: TC = TOP OF CURB G = GUTTER FFE = FINISH FLOOR ELEVATION FS = FINISHED SURFACE

#### GENERAL GRADING NOTES

- PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER IS NOT NOTIFIED OF DESIGN CONFLICTS.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND 4" OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS (SEE LANDSCAPE PLAN FOR SEED MIX AND PROPER APPLICATION RATE). ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS, ALL STORM DRAIN PIPE BEDDING SHALL BE INSTALLED PER DETAIL 28A. ALL STORM DRAIN PIPES ARE MEASURED FROM CENTER OF STRUCTURES AND ENDS OF FLARED END SECTIONS.
- ACCESS ROADS WILL NEED TO BE MAINTAINED & KEPT TO SUPPORT THE WEIGHT OF EMERGENCY VEHICLES DURING ALL CONSTRUCTION.
- RUNOFF AND SEDIMENT SHOULD BE KEPT COMPLETELY AWAY FROM INFILTRATION AREAS UNTIL ALL UPSTREAM AREAS ARE CONSTRUCTED AND FULLY STABILIZED.
- INFILTRATION AREAS SHOULD BE CLEARLY MARKED TO KEEP CONSTRUCTION EQUIPMENT AWAY DURING INSTRUCTION.
- INFILTRATION AREAS SHOULD BE VIGOROUSLY PROTECTED FROM EROSION, SEDIMENT, AND RUNOFF WITH ADEQUATE BMPs.
- ONLY LOW IMPACT TRACK EQUIPMENT SHOULD BE USED WITHIN THE INFILTRATION AREAS.

#### STORMWATER SUMMARY

TOTAL PROPERTY AREA = ±1.45 ACRES OR 63,153 SF  
TOTAL DISTURBED AREA = ±1.39 ACRES > 1 THEREFORE A NOI PERMIT WILL BE REQUIRED.

PRE PERVIOUS AREA = 0.43 AC  
PRE IMPERVIOUS AREA = 1.02 AC

POST PERVIOUS AREA = 0.52 AC  
POST IMPERVIOUS AREA = 0.93 AC

PEAK RUNOFF RATES (CFS)

	PRE	POST
2-YR	4.59	0.00
10-YR	7.38	0.18
100-YR	12.49	2.93
10 DAY SNOWMELT	0.27	0.11

DESIGN INFILTRATION RATE = 0.08 IN/H

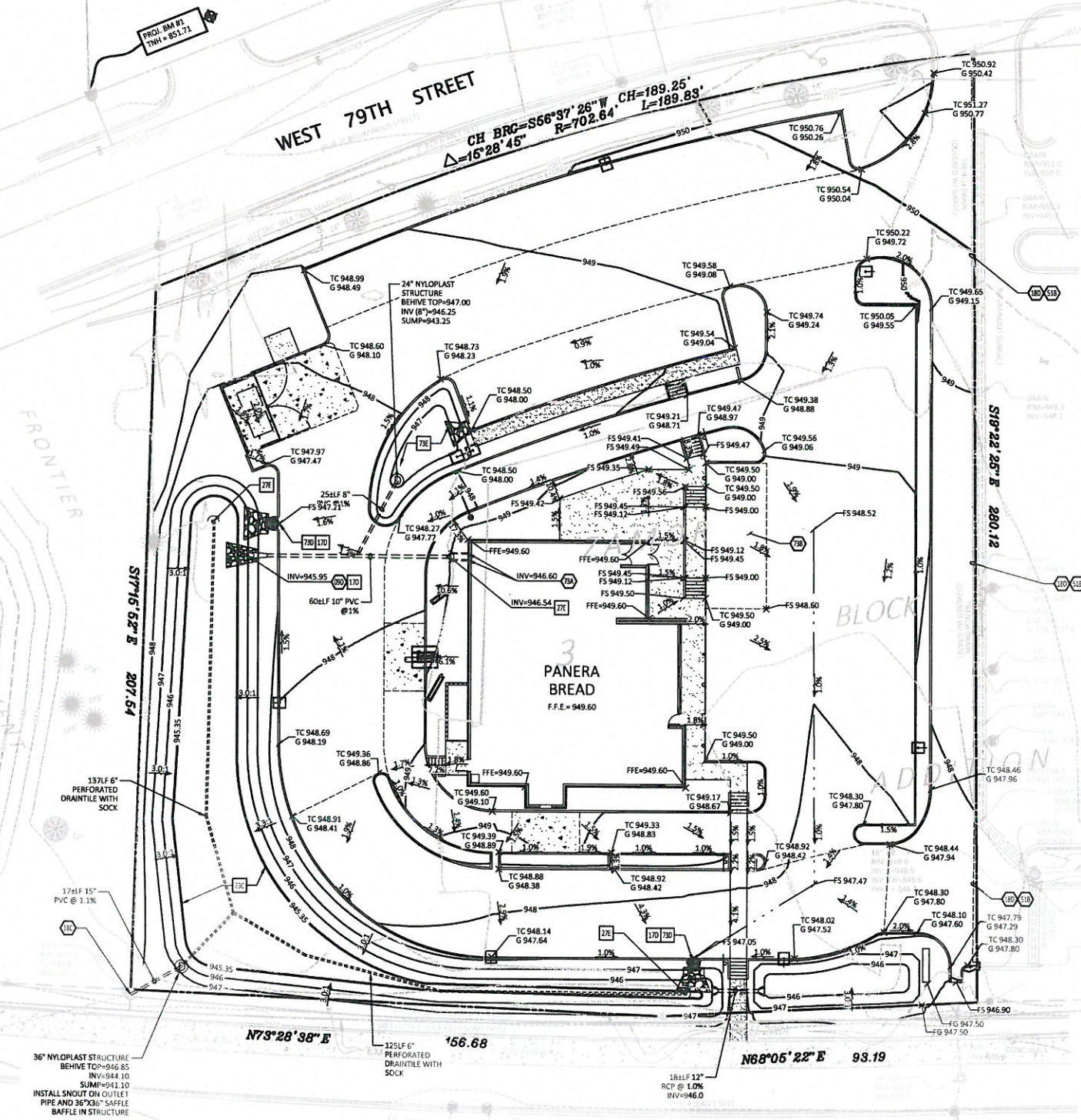
RETENTION BASIN  
OUTLET WATER LEVEL = 946.85  
HIGH WATER LEVEL = 947.57

#### GRADING NOTES


- 09D FLARED END SECTION.
- 18C CONNECT TO EXISTING STORM DRAIN MANHOLE OR INLET.
- 18D MATCH EXISTING PAVEMENT ELEVATIONS.
- 51B LIMITS OF SAWCUT AND PAVEMENT REMOVAL.
- 73A CONNECT TO INTERNAL ROOF DRAIN SYSTEM (DUAL 4" LINES PER ARCH. PLANS)
- 73B ADA AREA NOT EXCEED 2% SLOPE IN ANY DIRECTION

#### GRADING DETAILS

- 17D RIP RAP PAD
- 27E STORM DRAIN CLEAN OUT
- 73C BIORETENTION BASIN WITH UNDERDRAIN, (SOUTHWEST)
- 73D RAIN GUARDIAN
- 73E BIORETENTION BASIN WITH UNDERDRAIN, (NORTH)



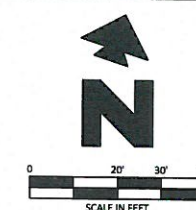
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<b>531 W. 79TH STREET</b>					
<b>CHANHASSEN,</b>				<b>MN</b>	
<b>GRADING PLAN</b>				REV DATE 11/30/17 REV-0	SHEET C3

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NOTE:  
SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

#### EXISTING LEGEND

FOUND MONUMENT	1" FIRE DEPT. CONNECTION	UNDERGROUND ELECTRIC
SET 1/2" IRON PIPE	HYDRANT	UNDERGROUND CABLE TV
MARKED RLS NO. 21718	CURB STOP	UNDERGROUND FIBER OPTIC
CABLE TV PEDISTAL	WATER WELL	UNDERGROUND TELEPHONE
AIR CONDITIONER	WATER MANHOLE	OVERHEAD UTILITY
ELECTRIC MANHOLE	WATER METER	UNDERGROUND GAS
ELECTRIC METER	POST BACKFLOW VALVE	STORM SEWER
ELECTRIC PEDISTAL	WATER VALVE	WATERMAIN
ELECTRIC TRANSFORMER	ROLLROAD	FENCE
LIGHT POLE	FLAG POLE	CURB (TYPICAL)
CITY WIRE	MAIL BOX	CONTOURS
GAS MANHOLE	TRAFFIC SIGN	
GAS METER	UNKNOWN MANHOLE	
TELEPHONE MANHOLE	SOIL BORING	
TELEPHONE PEDISTAL	SPOT ELEVATION	
SANITARY CLEANOUT	TRAFFIC SIGNAL	
SANITARY MANHOLE	CONFERENTIAL TREE	
CATCH BASIN	DECIDUOUS TREE	
STORM DRAIN		
FLARED END SECTION		
STORM MANHOLE		

#### SEQUENCE OF CONSTRUCTION (JOB SPECIFIC) EXAMPLE

1. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
2. PREPARE TEMPORARY PARKING AND STORAGE AREA.
3. CONSTRUCT THE SILT FENCES ON THE SITE.
4. INSTALL INLET PROTECTION DEVICES ON EXISTING INLETS.
5. CONSTRUCT THE TEMPORARY SEDIMENTATION AND SEDIMENT TRAP BASINS.
6. CLEAR AND GRUB THE SITE.
7. BEGIN GRADING THE SITE.
8. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
9. TEMPORARILY SEED DENuded AREAS.
10. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
11. INSTALL RIP RAP AROUND OUTLET STRUCTURES.
12. PREPARE SITE FOR PAVING.
13. PAVE SITE.
14. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
15. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED).

#### GENERAL EROSION NOTES

- A. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF MINNESOTA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- B. THE TEMPORARY PARKING AND STORAGE AREA SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AREA, EQUIPMENT CLEANING AREA, EMPLOYEE BREAK AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS AND TOILET FACILITIES. THE EXACT LOCATIONS SHALL BE COORDINATED WITH THE OWNER'S CONSTRUCTION MANAGER.
- C. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT BETWEEN THESE MATERIALS AND STORM WATER THAT IS DISCHARGED FROM THE SITE.
- D. MAINTAIN ON THE SITE OR HAVE READILY AVAILABLE SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLotation BOOMS TO CONTAIN AND CLEAN UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- E. DUST ON THE SITE SHALL BE CONTROLLED BY SPRAYING WATER ON DRY AREAS OF THE SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- F. NO RUBBISH, TRASH, GARBAGE OR OTHER SUCH MATERIALS SHALL BE DISCHARGED INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- G. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
- H. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL STOP FOR AT LEAST 21 DAYS, SHALL BE TEMPORARILY SEEDED WITHIN 7 DAYS.
- I. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE LANDSCAPING PLAN.
- J. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. THE EXACT LOCATIONS SHALL BE COORDINATED WITH THE OWNERS CONSTRUCTION MANAGER.
- K. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- L. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AFTER THE STABILIZATION OF THE SITE AND ALSO ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS.
- M. IF SOIL STOCKPILING IS EMPLOYED ON THE SITE, SILT FENCES SHALL BE USED TO HELP CONTAIN THE SEDIMENT.
- N. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- O. SEDIMENT BASINS ARE ATTRACTIVE TO CHILDREN AND CAN BE VERY DANGEROUS. IN ALL CASES, LOCAL ORDINANCES AND REGULATIONS REGARDING HEALTH AND SAFETY MUST BE ADHERED TO.
- P. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER FINAL STABILIZATION. FINAL STABILIZATION HAS OCCURRED WHEN ALL SOIL DISTURBING ACTIVITIES ARE COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% OF THE COVER FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES HAS BEEN EMPLOYED.
- Q. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) TO HELP PREVENT EROSION AND STORM WATER POLLUTION.
- R. ALL OFF-SITE CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR STORM DRAINS & UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

#### PROPOSED

PROPERTY LINE/RIGHT OF WAY LINE	
LIMITS OF DISTURBANCE	
SILT FENCE	
GRADE BREAK	
CONTOUR ELEVATIONS	
STORM DRAIN	
INLET PROTECTION	

#### GENERAL EROSION NOTES CONT'D

MAINTENANCE  
ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT, AND SHOULD BE CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. BALE INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR SHALL BE REPLACED IF THEY SHOW SIGNS OF DETERIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED AND RESEED AS NEEDED.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-THIRD TO ONE-HALF THE HEIGHT OF THE SILT FENCE.
4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT IN THE SEDIMENTATION BASINS SHALL NOT EXCEED THE SEDIMENTATION CLEANOUT LEVEL.
7. THE EMBANKMENT OF THE SEDIMENTATION BASIN SHALL BE CHECKED REGULARLY TO INSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT.

#### EROSION DETAILS

75A	DANDY BAG INLET PROTECTION
75B	SWP-4 (BIG RED) OR APPROVED EQUAL
75C	SILT FENCE (PER CITY DETAIL 5300)
75D	ROCK CONSTRUCTION ENTRANCE (PER CITY DETAIL 5301)
75E	CATCH BASIN SEDIMENT TRAP (PER CITY DETAIL 5302A)
80F	TEMPORARY SILT FENCE INLET PROTECTION

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<b>EROSION CONTROL PLAN</b>					



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NPDES CONSTRUCTION ACTIVITY REQUIREMENTS

- 1.A. PERFORMANCE REQUIREMENTS
- A. FOLLOWUP STANDARDS FOR INSPECTION AND MAINTENANCE OF BEST MANAGEMENT PRACTICES (BMPs), AS IDENTIFIED IN THE MPCA EROSION AND SEDIMENTATION CONTROL MANUAL.
- B. FOLLOWUP ALL PERMIT REQUIREMENTS, THE PROJECT-SPECIFIC STORM WATER POLLUTION PREVENTION PLAN (SWPPP).
- C. PROVIDE AT LEAST ONE CERTIFIED INSTALLER FOR EACH CONTRACTOR OR SUBCONTRACTOR TO OVERSEE ALL INSTALLATION AND MAINTENANCE OF BMPs AND IMPLEMENTATION OF THE SWPPP. IN ADDITION, PROVIDE AT LEAST ONE CERTIFIED INDIVIDUAL TO CONDUCT INSPECTION AND MAINTENANCE OF ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPs IN ACCORDANCE WITH THE REQUIREMENTS OF THE PERMIT. EVIDENCE OF CERTIFICATION OF EACH INDIVIDUAL SHALL BE FURNISHED BY THE CONTRACTOR AT THE PRECONSTRUCTION MEETING.
- D. DO NOT BEGIN CLEARING, GRADING, OR OTHER WORK INVOLVING DISTURBANCE OF GROUND SURFACE COVER UNTIL APPLICABLE PERMITS HAVE BEEN OBTAINED. OBTAIN CONSTRUCTION STORMWATER PERMIT FROM THE MPCA.
- E. INSTALL ALL TEMPORARY AND PERMANENT BMPs AT THE PROJECT SITE AS IDENTIFIED BY THE SWPPP, AND AS DETAILED BY DETAIL SHEETS. MAINTAIN BMPs AT THE PROJECT SITE TO CONTROL STORMWATER, PREVENT ON-SITE AND OFF-SITE SOIL EROSION, TO MINIMIZE ON-SITE AND OFF-SITE SEDIMENTATION, AND TO MINIMIZE SOIL COMPACTION AND VEGETATION. ADDITIONAL BMPs MAY BE NECESSARY TO ACHIEVE PERMIT COMPLIANCE OR THE PROVISIONS OF THIS PART, WHICH SHALL BE TAKEN AT NO COST TO THE OWNER.
- a. TIMING: INSTALL BMPs IDENTIFIED IN THE SWPPP PRIOR TO DISTURBANCE OF SURFACE COVER AND BEFORE PRECIPITATION OCCURS. FOLLOW PROJECT PHASING INDICATED IN SWPPP.
- b. MAINTENANCE: MAINTAIN TEMPORARY PREVENTIVE MEASURES UNTIL PERMANENT MEASURES HAVE BEEN ESTABLISHED TO 90%. PERMIT TERMINATION MAY BE REQUESTED AFTER 70% VEGETATIVE COVER ACROSS THE ENTIRE PROJECT SITE HAS BEEN ESTABLISHED.
- c. TEMPORARY SEDIMENT BASINS AND TRAPS. IN THE EVENT THAT TEMPORARY SEDIMENTATION BASINS WILL BE USED OR REQUIRED, CONSTRUCT BASINS CONCURRENTLY WITH THE START OF SOIL DISTURBING ACTIVITIES. DIRECT STORMWATER RUNOFF FROM LOCALIZED WATERSHEDS INTO THE BASINS. MULCH, SEED, OR BOTH, THE EXPOSED SLOPES OF THE BASINS AS SOON AS POSSIBLE, BUT WITHIN 14 DAYS AT THE LONGEST.
- d. CONSTRUCTION SITE VEHICLE ENTRY/EXIT. PRIOR TO BEGINNING WORK, INSTALL TEMPORARY CONSTRUCTION EXITS AT EACH POINT WHERE VEHICLES EXIT THE CONSTRUCTION SITE. USE A ROCK CONSTRUCTION EXIT (SEE PLANS FOR DETAILS).
- e. PRIOR TO BEGINNING WORK, COMPLETE THE FOLLOWING:
- I. CONTROL DRAINAGE AND EROSION ON THE SITE, AND MARK OR OTHERWISE DELINEATE AREAS ON THE SITE NOT TO BE DISTURBED.
- II. ESTABLISH SITE LOCATION OF ANY PORTABLE TOILET, FUELING AREA, SPILL KIT LOCATION, CONCRETE WASHOUT AREA, HAZARDOUS MATERIAL HANDLING AREA, LITTER CONTROL DEVICE AREA, STAGING AREA, STOCKPILING AREA AND OTHER SWPP-DESIGNATED AREAS.
- III. ESTABLISH TRAFFIC FLOW AND PATTERNS, INCLUDING HAIL, ROADS, TO MINIMIZE SOIL DISTURBANCE, TRACKING, COMPACTION, AND TO PRESERVE NATIVE AND EXISTING VEGETATION.
- F. MARK/STAKE AND MAINTAIN SENSITIVE AREAS DELINEATED ON THE SWPPP TO PREVENT DISTURBANCE, COMPACTION, EROSION AND SEDIMENTATION OF SENSITIVE AREAS. USE MEASURES SUCH AS HAND CLEARING AND GRUBBING, LIMITING BARE SOIL EXPOSURE TIME, EXPEDITING CONSTRUCTION ACTIVITIES, AND IMMEDIATELY ESTABLISHING NATIVE VEGETATION TO MINIMIZE SEDIMENTATION POTENTIAL IN THESE AREAS. INSPECT MARKED/STAKED AREAS AT EACH INSPECTION TO ENSURE AREAS ARE BEING PROTECTED FROM SEDIMENTATION AND SEDIMENT LOSS. ADDITIONAL MEASURES TO PREVENT FOULING OF PERMANENT STORMWATER BMPs MAY BE NECESSARY, AND SHOULD BE IMPLEMENTED TO MAINTAIN DESIGN OPERABILITY AT PROJECT TURNOVER.
- G. MAINTAIN PRECIPITATION RECORDS ONSITE FOR USE IN DETERMINING APPLICABLE PRECIPITATION EVENTS. USE ONE OF THE FOLLOWING ONLINE SOURCES (WHICH MAINTAINS AN ELECTRONIC RECORD OF EVENTS) OR INSTALL AN ONSITE RAIN GAUGE AND KEEP A DAILY WEATHER LOG ONSITE. INDICATE THE SOURCE OF THE WEATHER DATA IN THE SWPPP MATERIALS.
- H. COMPLETE PERIODIC REQUIRED STORMWATER INSPECTIONS AS IDENTIFIED BY THE PERMIT (WEEKLY ROUTINE INSPECTIONS AND PRECIPITATION EVENTS). INSPECTIONS SHALL CONTINUE PERIODICALLY UNTIL TERMINATION OF PERMIT AS DESCRIBED BY PART 1.5(h). MAINTAIN INSPECTION RECORDS ONSITE AND PROVIDE AS REQUESTED.
- I. MAKE CORRECTIVE ACTIONS TO FINDINGS OF PERIODIC INSPECTIONS, AS SELF-IDENTIFIED ON PERIODIC INSPECTIONS, OR AS IDENTIFIED BY REGULATOR INSPECTIONS WITHIN 24 HOURS OF DISCOVERY/NOTICE. MAINTAIN CORRECTIVE ACTION RECORDS ONSITE AND PROVIDE AS REQUESTED BY REGULATOR STAFF.
- J. UPDATE SWPPP AS OFTEN AS NEEDED TO REFLECT REAL-TIME SITE CONDITIONS AND BMPs CURRENTLY IN PLACE. UPDATE LOCATIONS OF SOLID WASTE CONTAINERS, ON-SITE FUELING AND CONCRETE WASHING AS CONDITIONS AT THE SITE CHANGE. THE UPDATED SWPPP SHALL BE POSTED AT THE PROJECT SITE AND BE MADE AVAILABLE UPON REQUEST TO REGULATOR STAFF.
- K. STORM WATER RUNOFF: CONTROL INCREASED STORM WATER RUNOFF DUE TO DISTURBANCE OF SURFACE COVER DUE TO CONSTRUCTION ACTIVITIES FOR THIS PROJECT.
1. PREVENT RUNOFF INTO PROJECT AND ADJACENT STORM AND SANITARY SEWER SYSTEMS, INCLUDING OPEN DRAINAGE CHANNELS, IN EXCESS OF ACTUAL CAPACITY OR AMOUNT ALLOWED BY AUTHORITIES HAVING JURISDICTION, WHICHEVER IS LESS.
2. ANY STORM WATER DISCHARGE FROM DISTURBED AREAS MUST BE VISIBLY FREE OF SEDIMENT AND ONLY CONTAIN STORMWATER OR OTHER PERMIT-AUTHORIZED DISCHARGES. TURBID OR SEDIMENT-LADEN WATER MUST BE TREATED PRIOR TO DISCHARGE (SEE PART 1.4(L)(5) FOR DETAILS).
3. INLET PROTECTION REMOVED IN ACCORDANCE WITH THE PERMIT FOR THE PURPOSES OF PUBLIC SAFETY MUST BE REINSTALLED AS SOON AS FEASIBLE AFTER CONCLUSION OF THE EVENT INITIATING THE REMOVAL.
4. STORMWATER AND OTHER DISCHARGES FROM THE SITE MAY NOT BE DISCHARGED TO THE SANITARY SEWER.
- L. EROSION ON SITE: MINIMIZE WIND, WATER, AND VEHICULAR EROSION OF SOIL ON PROJECT SITE DUE TO CONSTRUCTION ACTIVITIES FOR THIS PROJECT.
- M. CONTROL MOVEMENT OF SEDIMENT AND SOIL FROM TEMPORARY STOCKPILES OF SOIL.
- N. STOCKPILES SHALL NOT BE PLACED IN NATURAL BUFFERS OR SURFACE WATERS UNLESS THERE IS A BYPASS IN PLACE. STOCKPILES SHALL BE STABILIZED WITH TEMPORARY BMPs BY THE END OF THE WORK DAY OR SHIFT DURING WHICH IT WAS CREATED.
- O. UNLESS INFEASIBLE OR OTHERWISE PROJECT-SPECIFIED, TOPSOIL SHALL BE PRESERVED FOR SITE RESTORATION AND REVEGETATION PURPOSES, AND SHALL BE PROTECTED FROM WIND OR WATER EROSION AS DESCRIBED ABOVE.
- P. STOCKPILES TRANSPORTED OFF-SITE SHALL BE COVERED TO PREVENT WIND EROSION AND OFF-SITE DEPOSITION.
- Q. CONTROL AND MINIMIZE TRAFFIC AND TRAFFIC PATHS THROUGHOUT PROJECT SITE TO MINIMIZE TRACKING, DISTURBANCE AND COMPACTION. PREVENT DEVELOPMENT OF RUTS DUE TO EQUIPMENT AND VEHICULAR TRAFFIC.
- R. IMMEDIATELY STABILIZE AREAS WHEN CONSTRUCTION ACTIVITY IN AN AREA HAS TEMPORARILY CEASED OR ENDED AND WILL NOT RESUME FOR AT LEAST 14 CALENDAR DAYS.
- S. IF EROSION, COMPACTION OR DEVEGETATION OCCURS DUE TO NON-COMPLIANCE WITH THESE REQUIREMENTS, RESTORE IMPACTED AREAS AT NO COST TO OWNER.
- T. EROSION OFF SITE: PREVENT EROSION OF SOIL AND DEPOSITION OF SEDIMENT ON OTHER PROPERTIES CAUSED BY WATER OR SOILS LEAVING THE PROJECT SITE DUE TO CONSTRUCTION ACTIVITIES FOR THIS PROJECT.
1. PREVENT WINDBLOWN SOIL FROM LEAVING THE PROJECT SITE. SOILS TRANSPORTED OFF-SITE SHALL BE COVERED TO PREVENT WIND EROSION AND OFF-SITE DEPOSITION. ACTIVITIES SUCH AS GRINDING, SANDING, CUTTING AND BLASTING SHALL BE CONDUCTED IN A MANNER SO AS TO MINIMIZE FUGITIVE DUST, AND TO MINIMIZE ACCUMULATION ON SOILS TO BE VEGETATED, AND AREAS (EG. CURB CUTOUTS) THAT MAY BE A CONDUIT OF STORMWATER.
2. PREVENT TRACKING OF MUD ONTO PUBLIC ROADS OUTSIDE SITE. IF INSTALLATION AND MAINTENANCE OF SWPPP-IDENTIFIED BMPs IS NOT SUFFICIENT TO PREVENT TRACKING, ADDITIONAL PREVENTIVE MEASURES SHALL BE IMPLEMENTED AT NO COST TO THE OWNER.
3. STREET SWEEPING. SWEEP OR OTHERWISE REMOVE ALL SOIL AND SEDIMENT TRACKED OR OTHERWISE DEPOSITED ON PUBLIC OR PRIVATE PAVED AREAS ON A DAILY BASIS. USE MECHANICAL METHODS TO REMOVE SOLIDS FIRST, FOLLOWED BY WET METHODS, ONLY AS NEEDED.
4. PREVENT MUD AND SEDIMENT FROM FLOWING ONTO SIDEWALKS AND PAVEMENTS.
5. DISCHARGES WITHIN OR FROM THE PROJECT SITE SHALL MEET THE FOLLOWING REQUIREMENTS.
- a. WATER DISCHARGED FROM THE PROJECT SITE MUST BE COMPOSED SOLELY OF STORMWATER, AND BE VISIBLY FREE OF SEDIMENT AND FLOATING SOLIDS. OTHER DISCHARGES REQUIRE SEPARATE PERMITTING AUTHORITY.
- b. UNLESS INFEASIBLE DUE TO LACK OF PERVIOUS OR VEGETATED AREA, DISCHARGES SHALL BE MADE TO VEGETATED AREAS, AND WITH ENERGY DISSIPATION IN PLACE TO PREVENT EROSION. DISCHARGES FROM THE PROJECT SITE TO THE SANITARY SEWER REQUIRE PRIOR APPROVAL BY THE SEWERING AUTHORITY.
- c. WATER DISCHARGED MUST NOT CAUSE NUISANCE CONDITIONS, EROSION IN RECEIVING CHANNELS OR DOWNSLOPE PROPERTIES, OR INUNDATION OF WETLANDS.
- d. IF OFF-SITE IMPACTS OCCUR DUE TO NON-COMPLIANCE WITH THESE REQUIREMENTS, RESTORE IMPACTED AREAS AT NO COST TO OWNER.

NPDES CONSTRUCTION ACTIVITY REQUIREMENTS (CONT.)

- M. SEDIMENTATION OF WATERWAYS: PREVENT MIGRATION OF SEDIMENT FROM PROJECT SITE TO WATERWAYS ON-SITE OR OFF-SITE, INCLUDING RIVERS, STREAMS, LAKES, PONDS, OPEN DRAINAGE WAYS, STORM SEWERS, AND SANITARY SEWERS.
1. PROJECT AREAS ADJACENT TO OR FLOWING DIRECTLY TO WATERS OF THE STATE HAVE ADDITIONAL PERMIT-REQUIRED MANAGEMENT STANDARDS, WHICH INCLUDE SETBACKS, ENHANCED BMPs, AND REQUIREMENTS FOR RAPID STABILIZATION METHODS. CONSULT THE SWPPP FOR SPECIFIC PROVISIONS TO BE FOLLOWED AT THE PROJECT SITE. IF INSTALLATION AND MAINTENANCE OF SWPPP-IDENTIFIED BMPs IS NOT SUFFICIENT TO PREVENT SEDIMENTATION, ADDITIONAL PREVENTIVE OR PROTECTIVE MEASURES SHALL BE IMPLEMENTED AT NO COST TO THE OWNER.
2. IF SEDIMENTATION OCCURS, INSTALL OR CORRECT PREVENTIVE MEASURES IMMEDIATELY AT NO COST TO OWNER. CORRECTIVE MEASURES INCLUDE REMOVAL OF DEPOSITED SEDIMENTS FROM WATERS OF THE STATE, PRIOR TO REMOVAL OF SEDIMENT FROM WATERWAYS, OBTAIN APPROVAL, AND ANY NECESSARY PERMITS; COMPLY WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
3. IF SEDIMENT BASINS OR DEVICES ARE USED AS TEMPORARY PREVENTIVE MEASURES, PUMP DRY AND REMOVE DEPOSITED SEDIMENT AFTER EACH STORM.
4. DISCHARGES WITHIN OR FROM THE PROJECT SITE SHALL MEET THE FOLLOWING REQUIREMENTS.
- a. WATER DISCHARGED FROM THE PROJECT SITE MUST BE COMPOSED SOLELY OF STORMWATER, AND BE VISIBLY FREE OF SEDIMENT AND FLOATING SOLIDS. OTHER DISCHARGES REQUIRE SEPARATE PERMITTING AUTHORITY.
- b. UNLESS INFEASIBLE DUE TO LACK OF PERVIOUS OR VEGETATED AREA, DISCHARGES SHALL BE MADE TO VEGETATED AREAS, AND WITH ENERGY DISSIPATION IN PLACE TO PREVENT EROSION. DISCHARGES FROM THE PROJECT SITE TO THE SANITARY SEWER REQUIRE PRIOR APPROVAL BY THE SEWERING AUTHORITY.
- c. WATER DISCHARGED MUST NOT CAUSE NUISANCE CONDITIONS, EROSION IN RECEIVING CHANNELS OR DOWNSLOPE PROPERTIES, OR INUNDATION OF WETLANDS.
- d. IF OFF-SITE IMPACTS OCCUR DUE TO NON-COMPLIANCE WITH THESE REQUIREMENTS, RESTORE IMPACTED AREAS AT NO COST TO OWNER.
- N. OPEN WATER: PREVENT STANDING WATER THAT COULD BECOME STAGNANT.
- O. POLLUTION PREVENTION MEASURES: PREVENT CONTAMINATION OF STORMWATER FROM ON-SITE MATERIALS AND WASTES. ACTIVITIES OCCURRING AT A SEPARATE AREA (STAGING) IN CONJUNCTION WITH THE PROJECT ARE SUBJECT TO THE PROVISIONS IN THIS PART.
1. ANY PRODUCT OR WASTE WITH THE POTENTIAL TO CONTAMINATE STORMWATER MUST BE STORED INSIDE OR UNDER COVER IN SWPPP DESIGNATED AREAS ONLY. ITEMS MUST BE STORED IN A CLOSED, LABELED CONTAINER AND IN A MANNER TO PREVENT RELEASES THROUGH VANDALISM, THEFT, ACCIDENT OR OTHERWISE. ITEMS INCLUDED IN THIS PROVISION INCLUDE, BUT IS NOT LIMITED TO: BUILDING MATERIALS, PESTICIDES, TREATMENT CHEMICALS AND BY-PRODUCTS, LANDSCAPE MATERIALS, FUELS, OILS AND LUBES, PAINTS, PAINT WASTE AND OTHER HAZARDOUS WASTES. STORAGE LOCATIONS SHALL BE INDICATED ON THE SWPPP, AND BE UPDATED AS NECESSARY TO REFLECT SITE CONDITIONS.
2. LITTER AND SOLID WASTE AT THE SITE MUST BE CONTROLLED TO PREVENT RELEASE FROM THE PROJECT SITE AND BE COVERED, EXCEPT WHEN ADDING OR REMOVING WASTE. LITTER AND WASTES MAY NOT BE BURIED OR OTHERWISE DISPOSED AT THE PROJECT SITE. SOLID WASTE MUST BE COLLECTED AND DISPOSED OFF-SITE IN A MANNER CONSISTENT WITH LOCAL AND STATE SOLID WASTE RULES. SOLID WASTE STORAGE LOCATIONS SHALL BE INDICATED ON THE SWPPP, AND BE UPDATED AS NECESSARY TO REFLECT SITE CONDITIONS.
3. ON-SITE FUELING SHALL BE CONDUCTED IN SWPPP DESIGNATED AREAS ONLY, AND SHALL HAVE SECONDARY CONTAINMENT IN PLACE TO PREVENT FUEL RELEASES. IN SITUATIONS WHERE PERMANENT CONTAINMENT IS NOT FEASIBLE, RUBBERIZED CONTAINERS SUITABLE FOR USE UNDER EQUIPMENT DURING FUELING OPERATIONS IS ACCEPTABLE. FUELING LOCATIONS SHALL BE INDICATED ON THE SWPPP, AND BE UPDATED AS NECESSARY TO REFLECT SITE CONDITIONS.
4. A SPILL KIT CONTAINING MATERIALS APPROPRIATE TO PROJECT-SPECIFIC POLLUTANTS AND QUANTITIES SHALL BE LOCATED ON THE PROJECT SITE, AND ITS LOCATION SHALL BE INDICATED ON THE SWPPP.
5. PORTABLE TOILETS MUST BE POSITIONED SO THAT THEY ARE SECURE, AND WILL NOT BE TIPPED OR KNOCKED OVER. SANITARY WASTE MUST BE DISPOSED IN A MANNER CONSISTENT WITH LOCAL AND STATE RULES.
6. VEHICLE AND EQUIPMENT WASHING IS PROHIBITED AT THE PROJECT SITE, INCLUDING BUT NOT LIMITED TO THE STAGING AREA.
7. CONCRETE WASH-OUT WASTE SHALL EITHER BE COLLECTED AND MANAGED OFF-SITE, OR MANAGED ON-SITE IN A SWPPP-DESIGNATED CONCRETE WASHOUT AREA. MATERIALS IN OR DESTINED FOR THE WASHOUT AREA SHALL NOT CONTACT THE GROUND, NOR SHALL WATER OR OTHER LIQUID DISCHARGE FROM THE CONTAINMENT STRUCTURE. WASTES COLLECTED MUST BE DISPOSED OF OFF-SITE IN A MANNER CONSISTENT WITH LOCAL AND STATE SOLID WASTE RULES. WASHOUT AREAS SHALL BE INDICATED ON THE SWPPP, AND BE UPDATED AS NECESSARY TO REFLECT SITE CONDITIONS; WASHOUT AREAS SHALL BE SIGNED AT THE PROJECT SITE. IN CASES WHERE AN ON-SITE BATCH CONCRETE OR ASPHALT PLANT IS USED, A PLAN FOR THE MANAGEMENT OF FUGITIVE DUST, STOCKPILING, WASTEWATER, SOLID WASTE, NOISE, TRAFFIC, LOCATION AND OTHER PHYSICAL CONSIDERATIONS SHALL BE SUBMITTED.
8. USE METHODS AND OPERATIONAL PROCEDURES THAT PREVENT DISCHARGE OR PLACEMENT OF BITUMINOUS GRINDINGS, CUTTINGS, MILLINGS, AND OTHER BITUMINOUS WASTES FROM AREAS OF EXISTING OR FUTURE VEGETATED SOILS AND FROM ALL WATER CONVEYANCE SYSTEMS, INCLUDING INLETS, DITCHES AND CURB FLOW LINES.
9. USE METHODS AND OPERATIONAL PROCEDURES THAT PREVENT CONCRETE DUST, PARTICLES, CONCRETE WASH OUT, AND OTHER CONCRETE WASTES FROM LEAVING THE PROJECT SITE, DEPOSITING IN EXISTING OR FUTURE VEGETATED AREAS, AND FROM ENTERING STORMWATER CONVEYANCE SYSTEMS, INCLUDING INLETS, DITCHES AND CURB FLOW LINES. USE METHODS AND OPERATIONAL PROCEDURES THAT PREVENT SAW CUT SLURRY AND PLANNING WASTE FROM LEAVING THE PROJECT SITE AND FROM ENTERING STORMWATER CONVEYANCE SYSTEMS INCLUDING DITCHES AND CULVERTS.
10. IF ON-SITE OR OFF-SITE IMPACTS OCCUR DUE TO NON-COMPLIANCE WITH THESE REQUIREMENTS, RESTORE IMPACTED AREAS AT NO COST TO OWNER.
- P. ESTABLISH FINAL STABILIZATION: RESTORE THE PROJECT SITE TO PERMIT-REQUIRED VEGETATIVE CONDITIONS AND INITIATE PERMIT TERMINATION PROCESS.
1. COMPLETE SOIL DISTURBING ACTIVITIES AND RESTORE SITE TO A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70%, OR OTHER EQUIVALENT MEASURES, TO PREVENT SOIL FAILURE UNDER EROSION CONDITIONS.
2. TEMPORARY BMPs SHALL BE REMOVED, UNLESS SPECIFICALLY APPROVED.
3. PERMANENT BMPs SHALL BE FULLY INSTALLED AND VERIFIED TO BE OPERATING AS DESIGNED. ANY BASINS OR OTHER PERMANENT BMPs ALSO USED AS TEMPORARY BMPs DURING THE CONSTRUCTION PHASE, MUST BE CLEARED OF ACCUMULATED SEDIMENT.
4. NOTE THAT COMPLIANCE INSPECTIONS, IN ACCORDANCE WITH THE PROVISIONS OF THE PERMIT, MUST CONTINUE TO BE COMPLETED UNTIL THE PERMIT IS TERMINATED.
5. GROWING SEASONS: COMMENCEMENT OF WORK IN RELATIONSHIP TO GROWING SEASONS AND FINAL STABILIZATION EFFORTS MAY IMPACT THE CONTRACTOR'S SELECTION OF BMPs FOR FINAL STABILIZATION. THAT IS, SEEDING OR HYDRO-SEEDING OF SITES IN THE FALL DO NOT CONSTITUTE FINAL STABILIZATION AND WILL DELAY THE ABILITY TO CEASE INSPECTIONS AND/OR TERMINATE THE PERMIT.

1.5. SUBMITTALS

- A. SEE DIVISION 01 FOR SUBMITTAL PROCEDURES.
- B. CERTIFICATE: MUST CERTIFICATE FOR SILT FENCE FABRIC ATTESTING THAT FABRIC AND FACTORY SEAMS COMPLY WITH SPECIFIED REQUIREMENTS AND SIGNED BY LEGALLY AUTHORIZED OFFICIAL OF MANUFACTURER; INDICATE ACTUAL MINIMUM AVERAGE ROLL VALUES; IDENTIFY FABRIC BY ROLL IDENTIFICATION NUMBERS.
- C. STORMWATER POLLUTION PREVENTION PLAN (SWPPP), PREPARED AS SPECIFIED ABOVE.
- D. STORMWATER PERMIT APPLICATION PROCEDURE.
1. EVIDENCE OF CERTIFICATION OF INDIVIDUALS SPECIFIED BY PART 1.4(C) SHALL BE FURNISHED BY THE CONTRACTOR AT THE PRECONSTRUCTION MEETING.
2. CONTRACTOR COMPLETES A HARD-COPY VERSION OF THE MPCA CONSTRUCTION STORMWATER PERMIT APPLICATION FORM.
- F. INSPECTION REPORTS. INSPECTIONS SHALL BE COMPLETED, AND SHALL BE MAINTAINED ONSITE, TO BE PROVIDED TO REGULATOR STAFF AS REQUESTED.

NPDES CONSTRUCTION ACTIVITY REQUIREMENTS (CONT.)

- H. STORMWATER PERMIT TERMINATION PROCEDURE. WHEN THE PROVISIONS OF PART 1.4(P) FOR FINAL STABILIZATION HAVE BEEN MET AND A POST CONSTRUCTION INSPECTION HAS BEEN COMPLETED:
1. CONTRACTOR COMPLETES A HARD-COPY VERSION OF THE MPCA NOTICE OF TERMINATION FORM (HTTP://WWW.MPCA.STATE.MN.US/INDEX.PHP/VIEW-DOCUMENT.HTML?DOCID=7388) AND SUBMITS FOR REVIEW AND "OWNERS SIGNATURE".
- I. ON-SITE ASPHALT OR CONCRETE BATCH PLANT MANAGEMENT PLAN. AS INDICATED IN PART 1.4(I)(7), SUBMIT A PLAN FOR THE MANAGEMENT OF FUGITIVE DUST, STOCKPILING, WASTEWATER, SOLID WASTE, NOISE, TRAFFIC, LOCATION AND OTHER PHYSICAL CONSIDERATIONS PRIOR TO USE OF A BATCH CONCRETE OR ASPHALT PLANT.
- K. MATERIALS AND PRODUCT SHOP DRAWINGS.

PART 2 - PRODUCTS

2.1. MATERIALS

- A. MULCH: PER MNDOT SPECIFICATION SECTION 3733, TYPE 3.
- B. GRASS SEED FOR TEMPORARY COVER: SELECT A SPECIES APPROPRIATE TO CLIMATE, PLANTING SEASON, AND INTENDED PURPOSE. IF SAME AREA WILL LATER BE PLANTED WITH PERMANENT VEGETATION, DO NOT USE SPECIES KNOWN TO BE EXCESSIVELY COMPETITIVE OR PRONE TO VOLUNTEER IN SUBSEQUENT SEASONS. MNDOT SEED MIX #100 OR #110 OR APPROVED EQUIVALENT.
- C. SILT FENCE FABRIC: PER MNDOT SPECIFICATION SECTION 3886 FOR STANDARD MACHINE SLICED OR HEAVY DUTY TYPE. PREASSEMBLED SILT FENCE IS NOT ALLOWED. FOLLOW MNDOT STANDARDS.
- D. GEOTEXTILES: PER MNDOT SPECIFICATION SECTION 3733, TYPE V.
- E. EROSION CONTROL BLANKETS: PER MNDOT SPECIFICATION SECTION 3885, CATEGORY 4 COCONUT FOR ALL SLOPES 4:1 OR GREATER AND WITHIN ENTIRE BIOSWALE AREA, AND CATEGORY 2 STRAW 25 FOR ALL SLOPES 8:1 OR GREATER.
- F. EROSION STABILIZATION MATS: PER MNDOT SPECIFICATION SECTION 3888, TYPE 3 FOR SLOPE GREATER THAN 3:1 AND AT PIPE OUTLETS.
- G. STORM DRAIN INLET PROTECTION: FILTER BAG INSERT OR APPROVED EQUIVALENT. SILT FENCE WRAPPED ON CASTING OR SILT FENCE OR STRAWBALES SURROUNDING CATCHBASIN OR MANHOLE IS GENERALLY NOT ALLOWED AS A PRIMARY MEANS, BUT MAY BE USED FOR REDUNDANT PROTECTION.
- H. FILTER LOG: PER MNDOT SPECIFICATION SECTION 3897 TYPE STRAW, WOOD OR COMPOST LOG. STRAW LOGS ARE CONSIDERED TO BE marginally EFFECTIVE, AND ARE ONLY TO BE USED, IF AT ALL, IN VERY LOW-FLOW, LOW-SLOPE AREAS.

PART 3 - EXECUTION

3.1. EXAMINATION

- A. EXAMINE SITE AND IDENTIFY EXISTING FEATURES THAT CONTRIBUTE TO EROSION RESISTANCE; MAINTAIN SUCH EXISTING FEATURES TO GREATEST EXTENT POSSIBLE.

3.2. PREPARATION

- A. SCHEDULE WORK SO THAT SOIL SURFACES ARE LEFT EXPOSED FOR THE MINIMUM AMOUNT OF TIME.

3.3. CONSTRUCTION ACTIVITY REQUIREMENTS

A. STORM WATER POLLUTION PREVENTION PLAN

1. THE PERMITTEE(S) MUST IMPLEMENT THE SWPPP AND THE REQUIREMENTS OF THIS PART. THE BMPs IDENTIFIED IN THE SWPPP AND IN THIS PERMIT MUST BE SELECTED, INSTALLED, AND MAINTAINED IN AN APPROPRIATE AND FUNCTIONAL MANNER THAT IS IN ACCORDANCE WITH RELEVANT MANUFACTURER SPECIFICATIONS AND ACCEPTED ENGINEERING PRACTICES.

B. EROSION PREVENTION PRACTICES

1. THE PERMITTEE(S) MUST PLAN FOR AND IMPLEMENT APPROPRIATE BMPs SUCH AS CONSTRUCTION PHASING, VEGETATIVE BUFFER STRIPS, HORIZONTAL SLOPE GRADING, INSPECTION AND MAINTENANCE OF PART IV.E. AND OTHER CONSTRUCTION PRACTICES THAT MINIMIZE EROSION AS NECESSARY TO COMPLY WITH THIS PERMIT AND PROTECT WATERS OF THE STATE. THE LOCATION OF AREAS NOT TO BE DISTURBED MUST BE DELINEATED (E.G., WITH FLAGS, STAKES, SIGNS, SILT FENCE ETC.) ON THE PROJECT SITE BEFORE WORK BEGINS. THE PERMITTEE(S) MUST MINIMIZE THE NEED FOR DISTURBANCE OF PORTIONS OF THE PROJECT THAT HAVE STEEP SLOPES. FOR THOSE SLOPED AREAS WHICH MUST BE DISTURBED, THE PERMITTEE(S) MUST USE TECHNIQUES SUCH AS PHASING AND STABILIZATION PRACTICES DESIGNED FOR STEEP SLOPES (E.G., SLOPE DRAINING AND TERRACING).

2. THE PERMITTEE(S) MUST STABILIZE ALL EXPOSED SOIL AREAS (INCLUDING STOCKPILES). STABILIZATION MUST BE INITIATED IMMEDIATELY TO LIMIT SOIL EROSION WHENEVER ANY CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. STABILIZATION MUST BE COMPLETED NO LATER THAN 14 CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. FOR PUBLIC WATERS THAT THE MINNESOTA DEPARTMENT OF NATURAL RESOURCES HAS PROMULGATED "WORK IN WATER RESTRICTIONS" DURING SPECIFIED FISH SPAWNING TIME FRAMES, ALL EXPOSED SOIL AREAS THAT ARE WITHIN 200 FEET OF THE WATER'S EDGE, AND DRAIN TO THESE WATERS MUST COMPLETE THE STABILIZATION ACTIVITIES WITHIN 24 HOURS DURING THE RESTRICTION PERIOD. TEMPORARY STOCKPILES WITHOUT SIGNIFICANT SILT, CLAY OR ORGANIC COMPONENTS (E.G., CLEAN AGGREGATE STOCKPILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES) AND THE CONSTRUCTED BASE COMPONENTS OF ROADS, PARKING LOTS AND SIMILAR SURFACES ARE EXEMPT FROM THIS REQUIREMENT BUT MUST BE IN COMPLIANCE WITH PART IV.C.S.

3. IF USING STORMWATER CONVEYANCE CHANNELS, THE PERMITTEE(S) MUST DESIGN THE CHANNELS TO ROUTE WATER AROUND UNSTABILIZED AREAS ON THE SITE AND TO REDUCE EROSION, UNLESS INFEASIBLE, THE PERMITTEE(S) MUST USE EROSION CONTROLS AND VELOCITY DISSIPATION DEVICES SUCH AS CHECK DAMS, SEDIMENT TRAPS, RIPRAP, OR GROUDED RIPRAP AT OUTLETS WITHIN AND ALONG THE LENGTH OF ANY CONSTRUCTED STORMWATER CONVEYANCE CHANNEL, AND AT ANY OUTLET, TO PROVIDE A NON-EROSIVE FLOW VELOCITY, TO MINIMIZE EROSION OF CHANNELS AND THEIR EMBANKMENTS, OUTLETS, ADJACENT STREAM BANKS, SLOPES, AND DOWNSTREAM WATERS DURING DISCHARGE CONDITIONS

3. THE PERMITTEE(S) MUST STABILIZE THE NORMAL WETTED PERIMETER OF ANY TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE THAT DRAINS WATER FROM ANY PORTION OF THE CONSTRUCTION SITE, OR DIVERTS WATER AROUND THE SITE, WITHIN 200 LINEAL FEET FROM THE PROPERTY EDGE, OR FROM THE POINT OF DISCHARGE INTO ANY SURFACE WATER. STABILIZATION OF THE LAST 200 LINEAL FEET MUST BE COMPLETED WITHIN 24 HOURS AFTER CONNECTING TO A SURFACE WATER OR PROPERTY EDGE.

- THE PERMITTEE(S) SHALL COMPLETE STABILIZATION OF THE REMAINING PORTIONS OF ANY TEMPORARY OR PERMANENT DITCHES OR SWALES WITHIN 14 CALENDAR DAYS AFTER CONNECTING TO A SURFACE WATER OR PROPERTY EDGE AND CONSTRUCTION IN THAT PORTION OF THE DITCH HAS TEMPORARILY OR PERMANENTLY CEASED.

- TEMPORARY OR PERMANENT DITCHES OR SWALES THAT ARE BEING USED AS A SEDIMENT CONTAINMENT SYSTEM DURING CONSTRUCTION (WITH PROPERLY DESIGNED ROCK-DITCH CHECKS, BIO ROLLS, SILT DIKES, ETC.) DO NOT NEED TO BE STABILIZED DURING THE TEMPORARY PERIOD OF ITS USE AS A SEDIMENT CONTAINMENT SYSTEM. THESE AREAS MUST BE STABILIZED WITHIN 24 HOURS AFTER NO LONGER BEING USED AS A SEDIMENT CONTAINMENT SYSTEM.

- APPLYING MULCH, HYDROMULCH, TACKIFIER, POLYACRYLAMIDE OR SIMILAR EROSION PREVENTION PRACTICES IS NOT ACCEPTABLE STABILIZATION IN ANY PART OF A TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE.

5. PIPE OUTLETS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER.

6. UNLESS INFEASIBLE DUE TO LACK OF PERVIOUS OR VEGETATED AREAS, THE PERMITTEE(S) MUST DIRECT DISCHARGES FROM BMPs TO VEGETATED AREAS OF THE SITE (INCLUDING ANY NATURAL BUFFERS) IN ORDER TO INCREASE SEDIMENT REMOVAL AND MAXIMIZE STORMWATER INFILTRATION. THE PERMITTEE(S) MUST USE VELOCITY DISSIPATION DEVICES IF NECESSARY TO PREVENT EROSION WHEN DIRECTING STORMWATER TO VEGETATED AREAS.

NPDES CONSTRUCTION ACTIVITY REQUIREMENTS (CONT.)

C. SEDIMENT CONTROL PRACTICES

1. SEDIMENT CONTROL PRACTICES MUST MINIMIZE SEDIMENT FROM ENTERING SURFACE WATERS, INCLUDING CURB AND GUTTER SYSTEMS AND STORM SEWER INLETS.
2. TEMPORARY OR PERMANENT DRAINAGE DITCHES AND SEDIMENT BASINS THAT ARE DESIGNED AS PART OF A TREATMENT SYSTEM REQUIRE SEDIMENT CONTROL PRACTICES ONLY AS APPROPRIATE FOR SITE CONDITIONS.
3. IF THE DOWN GRADIENT TREATMENT SYSTEM IS OVERLOADED, ADDITIONAL UPGRADEMENT SEDIMENT CONTROL PRACTICES MUST BE INSTALLED TO ELIMINATE THE OVERLOADING, AND THE SWPPP MUST BE AMENDED TO IDENTIFY THESE ADDITIONAL PRACTICES.
4. IN ORDER TO MAINTAIN SHEET FLOW AND MINIMIZE RILLS AND/OR GULLIES, THERE SHALL BE NO UNBROKEN SLOPE LENGTH OF GREATER THAN 75 FEET FOR SLOPES WITH A GRADE OF 3:1 OR STEEPER.
5. SEDIMENT CONTROL PRACTICES MUST BE ESTABLISHED ON ALL DOWN GRADIENT PERIMETERS BEFORE ANY UPGRADEMENT LAND DISTURBING ACTIVITIES BEGIN. THESE PRACTICES SHALL REMAIN IN PLACE UNTIL FINAL STABILIZATION HAS BEEN ESTABLISHED.
6. THE TIMING OF THE INSTALLATION OF SEDIMENT CONTROL PRACTICES MAY BE ADJUSTED TO ACCOMMODATE SHORT-TERM ACTIVITIES SUCH AS CLEARING OR GRUBBING, OR PASSAGE OF VEHICLES. ANY SHORT-TERM ACTIVITY MUST BE COMPLETED AS QUICKLY AS POSSIBLE AND THE SEDIMENT CONTROL PRACTICES MUST BE INSTALLED IMMEDIATELY AFTER THE ACTIVITY IS COMPLETED. HOWEVER, SEDIMENT CONTROL PRACTICES MUST BE INSTALLED BEFORE THE NEXT PRECIPITATION EVENT EVEN IF THE ACTIVITY IS NOT COMPLETE.
7. ALL STORM DRAIN INLETS MUST BE PROTECTED BY APPROPRIATE BMPs DURING CONSTRUCTION UNTIL ALL SOURCES WITH POTENTIAL FOR DISCHARGING TO THE INLET HAVE BEEN STABILIZED AND FINAL INSPECTION HAS BEEN COMPLETED.
8. TEMPORARY STOCKPILES MUST HAVE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS, AND CANNOT BE PLACED IN SURFACE WATERS, INCLUDING STORM WATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS, OR CONDUITS AND DITCHES. STOCKPILES NOT ACTIVELY BEING WORKED SHALL BE STABILIZED AROUND THE ENTIRE PERIMETER. STOCKPILES BEING WORKED SHALL BE STABILIZED AT THE END OF EACH WORK DAY. PRESERVED TOPSOIL STOCKPILES ADDITIONALLY BE COVERED.
9. VEHICLE TRACKING OF SEDIMENT FROM THE CONSTRUCTION SITE MUST BE MINIMIZED BY BMPs SUCH AS STONE PADS, CONCRETE OR STEEL WASH RACKS, OR EQUIVALENT SYSTEMS. STREETS MUST BE SWEEP DAILY.

D. DEWATERING AND BASIN DRAINING

1. DEWATERING OR BASIN DRAINING (E.G., PUMPED DISCHARGES, TRENCH/DITCH CUTS FOR DRAINAGE) RELATED TO THE CONSTRUCTION ACTIVITY THAT MAY HAVE TURBID OR SEDIMENT LADEN DISCHARGE WATER MUST BE DISCHARGED TO A TEMPORARY OR PERMANENT SEDIMENTATION BASIN ON THE PROJECT SITE WHENEVER POSSIBLE. IF THE WATER CANNOT BE DISCHARGED TO A SEDIMENTATION BASIN PRIOR TO ENTERING THE SURFACE WATER, IT MUST BE TREATED WITH THE APPROPRIATE BMPs, SUCH THAT THE DISCHARGE DOES NOT ADVERSELY AFFECT THE RECEIVING WATER OR DOWNSTREAM LANDOWNERS. THE CONTRACTOR MUST ENSURE THAT DISCHARGE POINTS ARE ADEQUATELY PROTECTED FROM EROSION AND SCOUR. THE DISCHARGE MUST BE DISPERSED OVER NATURAL ROCK RIPRAP, SAND BAGS, PLASTIC SHEETING OR OTHER ACCEPTED ENERGY DISSIPATION MEASURES. ADEQUATE SEDIMENTATION CONTROL MEASURES ARE REQUIRED FOR DISCHARGE WATER THAT CONTAINS SUSPENDED SOLIDS.
2. ALL WATER FROM DEWATERING OR BASIN DRAINING ACTIVITIES MUST BE DISCHARGED IN A MANNER THAT DOES NOT CAUSE NUISANCE CONDITIONS, EROSION IN RECEIVING CHANNELS OR ON DOWNSLOPE PROPERTIES, OR INUNDATION IN WETLANDS CAUSING SIGNIFICANT ADVERSE IMPACT TO THE WETLAND.


3. ALL PERMITS FOR DEWATERING NEED TO BE OBTAINED BY THE CONTRACTOR PRIOR TO INITIATION ANY DEWATERING PRACTICE.

E. INSPECTIONS AND MAINTENANCE

1. THE CONTRACTOR MUST ROUTINELY INSPECT THE CONSTRUCTION SITE ONCE EVERY SEVEN DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS.
2. ALL INSPECTIONS, MAINTENANCE AND CORRECTIVE ACTIONS CONDUCTED DURING CONSTRUCTION MUST BE RECORDED AND THESE RECORDS MUST BE RETAINED WITH THE SWPPP.
3. WHERE PARTS OF THE CONSTRUCTION SITE HAVE UNDERGONE FINAL STABILIZATION, BUT WORK REMAINS ON OTHER PARTS OF THE SITE, INSPECTIONS OF THE STABILIZED AREAS MAY BE REDUCED TO ONCE PER MONTH. WHERE WORK HAS BEEN SUSPENDED DUE TO FROZEN GROUND CONDITIONS, INSPECTIONS MAY ALSO BE SUSPENDED UNTIL THAW AT THE SITE OCCURS.
4. ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPs MUST BE INSPECTED TO ENSURE INTEGRITY AND EFFECTIVENESS. ALL NONFUNCTIONAL BMPs MUST BE REPAIRED, REPLACED, OR SUPPLEMENTED WITH FUNCTIONAL BMPs. THE CONTRACTOR MUST INVESTIGATE AND COMPLY WITH THE FOLLOWING INSPECTION AND MAINTENANCE REQUIREMENTS:
- a. ALL SILT FENCES MUST BE REPAIRED, REPLACED, OR SUPPLEMENTED WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/2 OF THE HEIGHT OF THE FENCE. THESE REPAIRS MUST BE MADE WITHIN 24 HOURS OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
- b. TEMPORARY AND PERMANENT SEDIMENTATION BASINS MUST BE DRAINED AND THE SEDIMENT REMOVED WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES 1/2 THE STORAGE VOLUME. DRAINAGE AND REMOVAL MUST BE COMPLETED WITHIN 72 HOURS OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
- c. SURFACE WATERS, INCLUDING DRAINAGE DITCHES AND CONVEYANCE SYSTEMS, MUST BE INSPECTED FOR EVIDENCE OF SEDIMENT BEING DEPOSITED BY EROSION. THE CONTRACTOR MUST REMOVE ALL DELTAS AND SEDIMENT DEPOSITED IN SURFACE WATERS, INCLUDING DRAINAGE WAYS, CATCH BASINS, AND DRAINAGE SYSTEMS, AND RESTABILIZE THE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED SOIL. THE REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN DAYS OF DISCOVERY UNLESS PRECLUDED BY LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS. THE CONTRACTOR SHALL USE ALL REASONABLE EFFORTS TO OBTAIN ACCESS. IF PRECLUDED, REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN CALENDAR DAYS OF OBTAINING ACCESS. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL LOCAL, REGIONAL, STATE AND FEDERAL AUTHORITIES AND RECEIVING ANY APPLICABLE PERMITS, PRIOR TO CONDUCTING ANY WORK.
- d. CONSTRUCTION SITE VEHICLE EXIT LOCATIONS MUST BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING ONTO PAVED SURFACES. TRACKED SEDIMENT MUST BE REMOVED FROM ALL OFF-SITE PAVED SURFACES, WITHIN 24 HOURS OF DISCOVERY. THE CONTRACTOR IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF TEMPORARY AND PERMANENT WATER QUALITY MANAGEMENT BMPs, AS WELL AS ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPs. FOR THE DURATION OF THE CONSTRUCTION WORK AT THE SITE, THE CONTRACTOR IS RESPONSIBLE UNTIL THE OWNER/OPERATOR, HAS ASSUMED CONTROL ACCORDING TO OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED OR THE SITE HAS UNDERGONE FINAL STABILIZATION, AND A NOT HAS BEEN SUBMITTED TO THE MPCA IN ACCORDANCE WITH THE PROCEDURE IDENTIFIED IN PART 1.5(H).
- e. IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED IN A MANNER AND AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS (E.G., FUGITIVE SEDIMENT IN STREETS COULD BE WASHED INTO STORM SEWERS BY THE NEXT RAIN AND/OR POSE A SAFETY HAZARD TO USERS OF PUBLIC STREETS.)
5. ALL INFILTRATION AREAS MUST BE INSPECTED TO ENSURE THAT NO SEDIMENT FROM ONGOING CONSTRUCTION ACTIVITIES IS REACHING THE INFILTRATION/FILTRATION AREA AND THESE AREAS ARE PROTECTED FROM COMPACTION DUE TO CONSTRUCTION EQUIPMENT DRIVING ACROSS THE INFILTRATION AREA.

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2025 CENTRE POINTE BLVD., SUITE 210  
MENOTA HEIGHTS, MN 55120

PH: (651) 452-8960  
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**PANERA BREAD**  
531 W. 79TH STREET  
CHANDHASSEN, MN

<b>EROSION CONTROL NOTES 1</b>	REV DATE 11/30/17	SHEET NO. C5
	REV-O	

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NPDES CONSTRUCTION ACTIVITY REQUIREMENTS (CONT.)

- F. POLLUTION PREVENTION MANAGEMENT MEASURES
- THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING POLLUTION PREVENTION MANAGEMENT MEASURES ON THE SITE:
3. STORAGE, HANDLING, AND DISPOSAL OF CONSTRUCTION PRODUCTS, MATERIALS, AND WASTES: THE CONTRACTOR SHALL COMPLY WITH THE FOLLOWING STANDARDS TO MINIMIZE THE EXPOSURE TO STORMWATER OF ANY OF THE PRODUCTS, MATERIALS, OR WASTES. PRODUCTS OR WASTES WHICH ARE EITHER NOT A SOURCE OF CONTAMINATION TO STORMWATER OR ARE DESIGNED TO BE EXPOSED TO STORMWATER ARE NOT HELD TO THIS REQUIREMENT:
- a. BUILDING PRODUCTS THAT HAVE THE POTENTIAL TO LEACH POLLUTANTS MUST BE UNDER COVER (E.G., PLASTIC SHEETING OR TEMPORARY ROOFS) TO PREVENT THE DISCHARGE OF POLLUTANTS OR PROTECTED BY A SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER.
- b. PESTICIDES, HERBICIDES, INSECTICIDES, FERTILIZERS, TREATMENT CHEMICALS, AND LANDSCAPE MATERIALS MUST BE UNDER COVER (E.G., PLASTIC SHEETING OR TEMPORARY ROOFS) TO PREVENT THE DISCHARGE OF POLLUTANTS OR PROTECTED BY SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER.
- c. HAZARDOUS MATERIALS, TOXIC WASTE, (INCLUDING OIL, DIESEL FUEL, GASOLINE, HYDRAULIC FLUIDS, PAINT SOLVENTS, PETROLEUM-BASED PRODUCTS, WOOD PRESERVATIVES, ADDITIVES, CURING COMPOUNDS, AND ACIDS) MUST BE PROPERLY STORED IN SEALED CONTAINERS TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. RESTRICTED ACCESS STORAGE AREAS MUST BE PROVIDED TO PREVENT VANDALISM. STORAGE AND DISPOSAL OF HAZARDOUS WASTE OR HAZARDOUS MATERIALS MUST BE IN COMPLIANCE WITH MINN. R. CH. 7045 INCLUDING SECONDARY CONTAINMENT AS APPLICABLE.
- d. SOLID WASTE MUST BE STORED, COLLECTED AND DISPOSED OF PROPERLY IN COMPLIANCE WITH MINN. R. CH. 7035.
- e. PORTABLE TOILETS MUST BE POSITIONED SO THAT THEY ARE SECURE AND WILL NOT BE TIPPED OR KNOCKED OVER. SANITARY WASTE MUST BE DISPOSED OF PROPERLY IN ACCORDANCE WITH MINN. R. CH. 7041.
2. FUELING AND MAINTENANCE OF EQUIPMENT OR VEHICLES; SPILL PREVENTION AND RESPONSE: THE PERMITTEE(S) SHALL TAKE REASONABLE STEPS TO PREVENT THE DISCHARGE OF SPILLED OR LEAKED CHEMICALS, INCLUDING FUEL, FROM ANY AREA WHERE CHEMICALS OR FUEL WILL BE LOADED OR UNLOADED INCLUDING THE USE OF DRIP PANS OR ABSORBENTS UNLESS INFEASIBLE. IN SITUATIONS WHERE PERMANENT CONTAINMENT IS NOT FEASIBLE, RUBBERIZED CONTAINERS SUITABLE FOR USE UNDER EQUIPMENT DURING FUELING OPERATIONS IS ACCEPTABLE. THE PERMITTEE(S) MUST CONDUCT FUELING IN A CONTAINED AREA UNLESS INFEASIBLE. THE PERMITTEE(S) MUST ENSURE ADEQUATE SUPPLIES ARE AVAILABLE AT ALL TIMES TO CLEAN UP DISCHARGED MATERIALS AND THAT AN APPROPRIATE DISPOSAL METHOD IS AVAILABLE FOR RECOVERED SPILLED MATERIALS. THE PERMITTEE(S) MUST REPORT AND CLEAN UP SPILLS IMMEDIATELY AS REQUIRED BY MINN. STAT. § 115.061, USING DRY CLEAN UP MEASURES WHERE POSSIBLE.
3. VEHICLE AND EQUIPMENT WASHING: NO VEHICLE OR EQUIPMENT WASHING IS ALLOWED AT PROJECT SITES, INCLUDING BUT NOT LIMITED TO STAGING AREAS.
4. CONCRETE AND OTHER WASHOUTS WASTE: THE PERMITTEE(S) MUST PROVIDE EFFECTIVE CONTAINMENT FOR ALL LIQUID AND SOLID WASTES GENERATED BY WASHOUT OPERATIONS (CONCRETE, STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS) RELATED TO THE CONSTRUCTION ACTIVITY. THE LIQUID AND SOLID WASHOUT WASTES MUST NOT CONTACT THE GROUND, AND THE CONTAINMENT MUST BE DESIGNED SO THAT IT DOES NOT RESULT IN RUNOFF FROM THE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA RULES. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY THAT REQUIRES SITE PERSONNEL TO UTILIZE THE PROPER FACILITIES FOR DISPOSAL OF CONCRETE AND OTHER WASHOUT WASTES. IN CASES WHERE AN ON-SITE BATCH CONCRETE OR ASPHALT PLANT IS USED, A PLAN FOR THE MANAGEMENT OF FUGITIVE DUST, STOCKPILING, WASTEWATER, SOLID WASTE, NOISE, TRAFFIC, LOCATION AND OTHER PHYSICAL CONSIDERATIONS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO USE OF THE PLANT (SEE PART 1.5[K]).
- G. FINAL STABILIZATION
- THE CONTRACTOR MUST ENSURE FINAL STABILIZATION OF THE SITE. THE CONTRACTOR SHALL FOLLOW THE PROCEDURE DESCRIBED BY PART 1.5[H] WITHIN 30 DAYS AFTER FINAL STABILIZATION IS COMPLETE.
1. ALL SOIL DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED AND ALL SOILS MUST BE STABILIZED BY A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70 PERCENT OVER THE ENTIRE PREVIOUS SURFACE AREA, OR OTHER APPROVED EQUIVALENT MEANS NECESSARY TO PREVENT SOIL FAILURE UNDER EROSION CONDITIONS AND:
- a. ALL DRAINAGE DITCHES, CONSTRUCTED TO DRAIN WATER FROM THE SITE AFTER CONSTRUCTION IS COMPLETE, MUST BE STABILIZED TO PRECLUDE EROSION;
- b. ALL TEMPORARY SYNTHETIC, AND STRUCTURAL EROSION PREVENTION AND SEDIMENT CONTROL BMPs MUST BE REMOVED AS PART OF THE SITE FINAL STABILIZATION.
- c. THE CONTRACTOR MUST CLEAN OUT ALL SEDIMENT FROM CONVEYANCES AND FROM TEMPORARY SEDIMENTATION BASINS THAT ARE TO BE USED AS PERMANENT WATER QUALITY MANAGEMENT BASINS. SEDIMENT MUST BE STABILIZED TO PREVENT IT FROM BEING WASHED BACK INTO THE BASIN, CONVEYANCES OR DRAINAGE WAYS DISCHARGING OFF-SITE OR TO SURFACE WATERS. THE CLEANOUT OF PERMANENT BASINS MUST BE SUFFICIENT TO RETURN THE BASIN TO DESIGN CAPACITY.
- 3.5. CLEAN UP
- A. REMOVE TEMPORARY MEASURES AFTER PERMANENT MEASURES HAVE BEEN INSTALLED.
- B. CLEAN OUT TEMPORARY SEDIMENT CONTROL STRUCTURES THAT ARE TO REMAIN AS PERMANENT MEASURES.
2. C. WHERE REMOVAL OF TEMPORARY MEASURES WOULD LEAVE EXPOSED SOIL, SHAPE SURFACE TO AN ACCEPTABLE GRADE AND FINISH TO MATCH ADJACENT GROUND SURFACES.

PERMANENT STORMWATER MANAGEMENT SYSTEM

THE PERMITTEE(S) SHALL DESIGN THE PROJECT SO THAT ALL STORMWATER DISCHARGED FROM THE PROJECT DURING AND AFTER CONSTRUCTION ACTIVITIES DOES NOT CAUSE A VIOLATION OF STATE WATER QUALITY STANDARDS, INCLUDING NUISANCE CONDITIONS, EROSION IN RECEIVING CHANNELS OR ON DOWNSLOPE PROPERTIES, OR A SIGNIFICANT ADVERSE IMPACT TO WETLANDS CAUSED BY INUNDATION OR DECREASE OF FLOW.

THE PERMITTEE(S) SHALL CONSTRUCT A PERMANENT STORMWATER MANAGEMENT SYSTEM MEETING THE REQUIREMENTS OF THIS PART, OR IF THE PROJECT IS LOCATED IN A JURISDICTION SUBJECT TO A NPDES/SDS MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4) PERMIT AND THAT PERMIT HAS ESTABLISHED PERMANENT TREATMENT REQUIREMENTS THAT INCLUDE VOLUME REDUCTION, THE PERMITTEE(S) CAN COMPLY WITH THE PERMANENT TREATMENT REQUIREMENTS ESTABLISHED UNDER THE MS4 PERMIT IN LIEU OF THE PERMANENT TREATMENT REQUIREMENTS OF THIS PERMIT

PANERA BREAD DEVELOPMENT - SITE INTRO.

PROJECT DESCRIPTION

THE PROPOSED REDEVELOPMENT PROJECT CONSISTS OF DISTURBING 1.47 ACERS OF THE EXISTING CHANHASSEN INN HOTEL AT 351 W. 79TH STREET IN CHANHASSEN, MN. PROPOSED DEVELOPMENT INCLUDES A 4,486 SQUARE FOOT ONE-STORY SINGLE-TENANT RESTAURANT BUILDING, ALONG WITH ASSOCIATED SURFACE PARKING LOT, TRASH ENCLOSURE, CONCRETE CURB AND GUTTER, AND OTHER ASSOCIATED UTILITIES. THIS SITE LIES WITHIN THE UNSHADED ZONE C, AREAS OF MINIMAL FLOODING ACCORDING TO FEMA.

THE PROJECT SITE DOES NOT INCLUDE SITES OF HISTORIC OR ARCHEOLOGICAL SIGNIFICANCE AND DOES NOT INCLUDE ENDANGERED & THREATENED SPECIES, RARE NATURAL COMMUNITIES, COLONIAL WATERBIRD NESTING SITES, MIGRATORY WATERFOWL CONCENTRATION AREAS, DEER WINTERING AREAS OR WILDLIFE CORRIDORS.

THE IMPLEMENTATION AND MAINTENANCE OF THE STORM WATER POLLUTION PREVENTION PLAN WILL PROVIDE THE CONTRACTOR AND OWNER WITH THE FRAMEWORK TO REDUCE SOIL EROSION AND MINIMIZE POLLUTANTS IN THE STORM WATER DURING CONSTRUCTION OF THE SITE.

THE STORM WATER POLLUTION PREVENTION PLAN WILL DEFINE THE CHARACTERISTICS OF THE SITE AND THE TYPE OF CONSTRUCTION TO OCCUR; INCLUDE A SITE PLAN SHOWING THE CONSTRUCTION; DESCRIBE THE PRACTICES THAT WILL BE USED TO CONTROL EROSION AND THE RELEASE OF POLLUTANTS IN THE STORM WATER, INDICATE A SCHEDULE TO HELP ENSURE THAT THE PRACTICES INDICATED ARE IMPLEMENTED AND TO HELP EVALUATE THE EFFECTIVENESS OF THE PRACTICES IN REDUCING EROSION AND POLLUTANTS DISCHARGED FROM THE SITE; AND TO DESCRIBE THE FINAL STABILIZATION MEASURES REQUIRED TO HELP MINIMIZE EROSION AND OTHER STORM WATER IMPACTS AFTER CONSTRUCTION.

STORM WATER POLLUTION PREVENTION PLAN IMPLEMENTATION

PLAN COORDINATION:

THE SITE REPRESENTATIVE FOR THE OWNER, WITH THE ASSISTANCE OF THE FIELD SUPERVISOR FOR THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR IMPLEMENTING AND MONITORING THE STORM WATER POLLUTION PREVENTION PLAN DURING CONSTRUCTION. THIS WILL INCLUDE OVERSEEING THE MAINTENANCE OF THE BMPs THAT ARE IMPLEMENTED, PROVIDE INSPECTIONS AND MONITORING OF THE BMPs, IDENTIFY AND CORRECT ANY DEFICIENCIES IN THE STORM WATER POLLUTION PREVENTION PLAN, AND MONITOR THAT ANY CHANGES TO THE CONSTRUCTION PLANS ARE ADDRESSED BY THE STORM WATER POLLUTION PREVENTION PLAN.

PROJECT INFORMATION

SITE LOCATION:

THE PROJECT SITE IS APPROXIMATELY 1.45 ACRES, ZONED BH (HIGHWAY AND BUSINESS SERVICES DISTRICT, AT 531 W 79TH STREET, CHANHASSEN, MINNESOTA IN CARVER COUNTY.

STORM WATER MANAGEMENT CONTROLS

TEMPORARY AND PERMANENT EROSION CONTROL MEASURES:

A LIST OF STABILIZATION MEASURES HAS BEEN TABULATED BELOW AND THE LOCATIONS OF THESE MEASURES ARE SHOWN ON THE ATTACHED EROSION CONTROL PLAN. THIS PROJECT WILL USE A NUMBER OF BMPs TO HELP CONTROL EROSION AND SEDIMENT. THOSE MEASURES INCLUDE:

- 75A DANDY BAG INLET PROTECTION  
75B SWP-CI (BIG RED) OR APPROVED EQUAL  
75C SILT FENCE (PER CITY DETAIL 5300)  
75D ROCK CONSTRUCTION ENTRANCE (PER CITY DETAIL 5301)  
75E CATCH BASIN SEDIMENT TRAP (PER CITY DETAIL 5302A)  
80F TEMPORARY SILT FENCE INLET PROTECTION

DETAILS FOR THESE CAN BE FOUND ON THE DETAIL SHEETS.

THE FOLLOW TABLE PROVIDES A SCHEDULE FOR STABILIZING DISTURBED AREAS DURING CONSTRUCTION:

DISTURBED AREA	WORKING DAYS TO STABILIZE
3 TO 1 AND STEEPER SLOPES	7 DAYS
SLOPES FLATTER THAN 3 TO 1	7 DAYS
ALL DITCHES, WITHIN 200' OF OUTLET	1 DAY
ALL OUTLETS	1 DAY
ALL INLETS	1 DAY
TEMPORARY SEDIMENT BASINS AND TRAPS	1 DAY
SOIL STOCKPILES	7 DAYS

SEE THE LANDSCAPE PLAN FOR FINAL PLANT AND TURF COVERAGE OF THE SITE IF APPLICABLE.

CONSTRUCTION TYPE:

THE PROJECT WILL CONSIST OF CONSTRUCTING A NEW SINGLE-TENANT RESTAURANT BUILDING WITH DRIVE-THRU LANE, A BIORETENTION BASIN WITH UNDERDRAIN, AND UTILITY CONNECTIONS. RUNOFF FROM ALL PROPOSED IMPERVIOUS SURFACES WILL BE COLLECTED BY DOWNSPOUTS, OR DRAIN TO ONE OF A SERIES OF CATCH BASINS IN THE PAVED AREA, AND OUTLET TO A BIOFILTRATION BASIN THAT WILL SERVE TO PROMOTE ON SITE ABSTRACTION OF STORMWATER. EXCESS STORMWATER FROM THE BIOFILTRATION BASIN SHALL OVERFLOW INTO AN OUTLET CONTROL STRUCTURE (OCS) WHICH WILL IN TURN CONTROL THE RATE OF RUNOFF AND PROVIDE FOR ADDITIONAL WATER QUALITY MEETING CITY OF CHANHASSEN REQUIREMENTS. STORMWATER FROM THE OUTLET CONTROL STRUCTURE WILL THEN OUTLET INTO THE EXISTING STORMWATER INFRASTRUCTURE THAT RUNS UNDERNEATH STATE HIGHWAY 5 TO THE SOUTH. NO DISTURBANCE IS PROPOSED IN THE EXISTING CITY POND TO THE WEST.

SITE GRADING AND UTILITY CONSTRUCTION IS ANTICIPATED TO BEGIN IN THE SPRING OF 2018 WITH COMPLETION OF THE SITE IN FALL 2018.

EXISTING DRAINAGE/SOIL CONDITIONS:

A GEOTECHNICAL ENGINEERING REPORT WAS PROVIDED BY BRAUN INTERTEC CORPORATION. PROJECT NUMBER B1702295 DATED JUNE 22, 2017..

SITE WIDE CONTROL MEASURES

TO PREVENT EROSION SEDIMENTS FROM LEAVING THE SITE, THE FOLLOWING BMPs WILL BE USED:

SILT FENCE / EROSION LOGS: TO BE MACHINE OR HAND INSTALLED ALONG THE PERIMETER OF AREAS TO BE GRADED BEFORE GRADING BEGINS. ADDITIONAL PERIMETER CONTROLS SHOULD BE KEPT ON-SITE FOR REPAIRS, REPLACEMENT OR PROTECTION OF ADDITIONAL AREAS. SILT FENCE OR EROSION LOGS SHALL BE INSPECTED ONCE A WEEK AND WITHIN 24 HOURS OF ANY 1/4" RAIN EVENT. SEDIMENT REMOVAL REQUIRED WHEN SEDIMENTS REACH 1/2 THE HEIGHT OF THE BMP. BMPs CAN BE REMOVED WHEN VEGETATION FOR FINAL STABILIZATION HAS BEEN ADEQUATELY ESTABLISHED (70%).

ALL EXPOSED AREAS WITHIN 200 FEET OF A SURFACE WATER MUST BE STABILIZED NO LATER THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.

AFTER ALL AREAS ARE FINAL GRADED, THE ENTIRE SITE SHALL BE SEEDED AND FERTILIZED. SLOPES WITH GRADES GREATER THAN 3 TO 1, OR WHERE CONCENTRATED FLOWS WILL OCCUR EROSION CONTROL BLANKETS AND FIBER LOGS SHALL BE INSTALLED (MAXIMUM SPACING 75 FEET).

AREAS FLOWING INTO THE STORM WATER CONVEYANCE SYSTEM WILL BE STABILIZED THE DAY THE STRUCTURES ARE INSTALLED. CATCH BASIN SEDIMENT BAGS WILL BE INSTALLED THE SAME DAY AND LEFT IN PLACE UNTIL THE PROJECT IS COMPLETED. SEDIMENTS SHALL BE REMOVED AND DISPOSED OF WHEN 3/4 THE CAPACITY IS REACHED.

TOPSOIL STOCKPILES WILL BE STABILIZED WITH TEMPORARY SEED, MULCH AND FERTILIZER WITHIN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY THAT CREATED THE STOCKPILE.

DUST WILL BE CONTROLLED BY WATER APPLICATION AND/OR SWEEPING AS NEEDED.

VEGETATIVE BUFFERS WILL BE MAINTAINED AT THE PERIMETER OF THE SITE.

GRADING OPERATIONS SHOULD INCORPORATE HORIZONTAL SLOPE TRACKING WHEN POSSIBLE TO HELP REDUCE EROSION.

CONSTRUCTION ENTRANCE WITH 3" COURSE AGGREGATE OVER GEOFABRIC FABRIC.

ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASH-OUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A COMPACTED CLAY LINER THAT DOES NOT ALLOW WASHOUT LIQUIDS TO ENTER GROUND WATER IS CONSIDERED AN IMPERMEABLE LINER.

THE BIORETENTION AREAS MUST NOT BE GRADED TO THEIR FINAL CONDITION UNTIL THE CONTRIBUTING WATERSHED IS STABILIZED.

CONSTRUCTION PRACTICES TO MINIMIZE STORM WATER CONTAMINATION:

ALL NON-HAZARDOUS WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURE LOCATION, PREFERABLY A LOCKABLE METAL DUMPSTER, AT THE END OF EACH DAY. ALL TRASH AND CONSTRUCTION DEBRIS SHOULD BE DEPOSITED IN THE DUMPSTER AT THE END OF EACH DAY AND WILL BE EMPTIED AS NECESSARY. NO CONSTRUCTION MATERIALS SHALL BE BURIED ON-SITE. A LICENSED SANITARY WASTE MANAGEMENT COMPANY WILL COLLECT ALL SANITARY WASTE FROM PORTABLE UNITS. GOOD HOUSEKEEPING AND SPILL CONTROL PRACTICES SHOULD BE FOLLOWED TO MINIMIZE STORM WATER CONTAMINATION.

MAINTENANCE

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT, AND SHOULD BE CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR SHALL BE REPLACED IF THEY SHOW SIGNS OF DETERIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED AND RESEEDED AS NEEDED.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-THIRD TO ONE-HALF THE HEIGHT OF THE SILT FENCE.
4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT IN THE SEDIMENTATION BASINS SHALL NOT EXCEED THE SEDIMENTATION CLEANOUT LEVEL.
7. THE EMBANKMENT OF THE SEDIMENTATION BASIN SHALL BE CHECKED REGULARLY TO INSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT.

SEQUENCE OF CONSTRUCTION

SEQUENCE OF CONSTRUCTION :

1. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
2. PREPARE TEMPORARY PARKING AND STORAGE AREA.
3. CONSTRUCT THE SILT FENCES ON THE SITE.
4. INSTALL INLET PROTECTION DEVICES ON EXISTING INLETS.
5. CLEAR AND GRUB THE SITE.
6. BEGIN GRADING THE SITE.
7. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
8. TEMPORARILY SEED DENUDEED AREAS.
9. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
10. INSTALL RIP RAP AROUND OUTLET STRUCTURES.
11. PREPARE SITE FOR PAVING.
12. PAVE SITE.
13. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
14. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED).

BMP QUANTITIES

- 1 EA. DANDY BAG INLET PROTECTION  
250 LF SWP-CI (BIG RED) OR APPROVED EQUAL  
720 LF SILT FENCE (PER CITY DETAIL 5300)  
1 EA. ROCK CONSTRUCTION ENTRANCE (PER CITY DETAIL 5301)  
2 EA. CATCH BASIN SEDIMENT TRAP (PER CITY DETAIL 5302A)  
2 EA. TEMPORARY SILT FENCE INLET PROTECTION

CONTACTS

CIVIL ENGINEER	DEVELOPER	CONTRACTOR
CEI ENGINEERING ASSOCIATES INC. ALAN CATCHPOOL, PE 8025 CENTRE POINTE BLVD. SUITE 210 MENDOTA HEIGHTS, MN 55120 651-452-8960 acatchpool@celinq.com	PANERA, LLC BRIAN BARNARD SR. DEVELOPMENT PROJECT MANAGE 3630 SOUTH GEYER ROAD, SUITE 100 ST. LOUIS, MO 63127 314-984-2609	T.B.D.

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<b>PANERA BREAD</b> 531 W. 79TH STREET CHANHASSEN, MN					
EROSION CONTROL NOTES 2		REV DATE 11/30/17 REV-0	SHEET NO. C6		

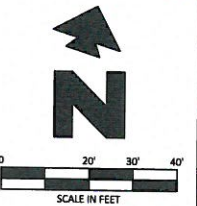


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**SITE BENCHMARK**  
ELEVATIONS BASED ON INFORMATION AS SHOWN ON THE AIRDOT  
GEODETIC WEBSITE. SURVEY DSR 1002 W WITH AN ELEVATION OF 954.9  
WAS USED TO ESTABLISH VERTICAL CONTROL.  
(BENCHMARK: TOP OF FIRE HYDRANT, ELEVATION=851.73)



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Call before you dig.**



NOTE:  
SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF  
PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING  
UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

#### EXISTING LEGEND

FOUND MONUMENT	FIRE DEPT. CONNECTION	UNDERGROUND ELECTRIC
12" IRON PIPE	HYDRANT	UNDERGROUND CABLE TV
MARKED R.I. NO. 25718	CURB STOP	UNDERGROUND FIBER OPTIC
CABLE TV PEDESTAL	WATER WELL	UNDERGROUND TELEPHONE
AIR CONDITIONER	WATER MANHOLE	OVERHEAD UTILITY
ELECTRIC MANHOLE	WATER METER	UNDERGROUND GAS
ELECTRIC METER	POST INDICATOR VALVE	SANITARY SEWER
ELECTRIC PEDESTAL	WATER VALVE	WATERMAIN
ELECTRIC TRANSFORMER	ROLL-UP	FENCE
FLAG POLE	MAIL BOX	CURB (TYPICAL)
CLAY PIPE	TRAFFIC SIGN	CONTOURS
POWER POLE	UNDERGROUND MANHOLE	
GAS MANHOLE	SOL. BORING	
GAS METER	SPOT ELEVATION	
TELEPHONE MANHOLE	TRAFFIC SIGNAL	
TELEPHONE PEDESTAL		
SANITARY CLEAN-OUT		
SANITARY MANHOLE		
CATCH BASIN		
STORM DRAIN		
FLARED END SECTION		
STORM MANHOLE		
	CONFIRMED TREE	
	DECIDUOUS TREE	

#### PROPOSED

---	PROPERTY LINE/RIGHT OF WAY LINE
---	STORM DRAIN
---	GAS SERVICE
---	SANITARY SEWER SERVICE
---	UNDERGROUND ELECTRIC SERVICE
---	UNDERGROUND ELECTRIC AND TELEPHONE SERVICE
---	UNDERGROUND TELEPHONE SERVICE
---	WATER SERVICE

#### GENERAL UTILITY NOTES

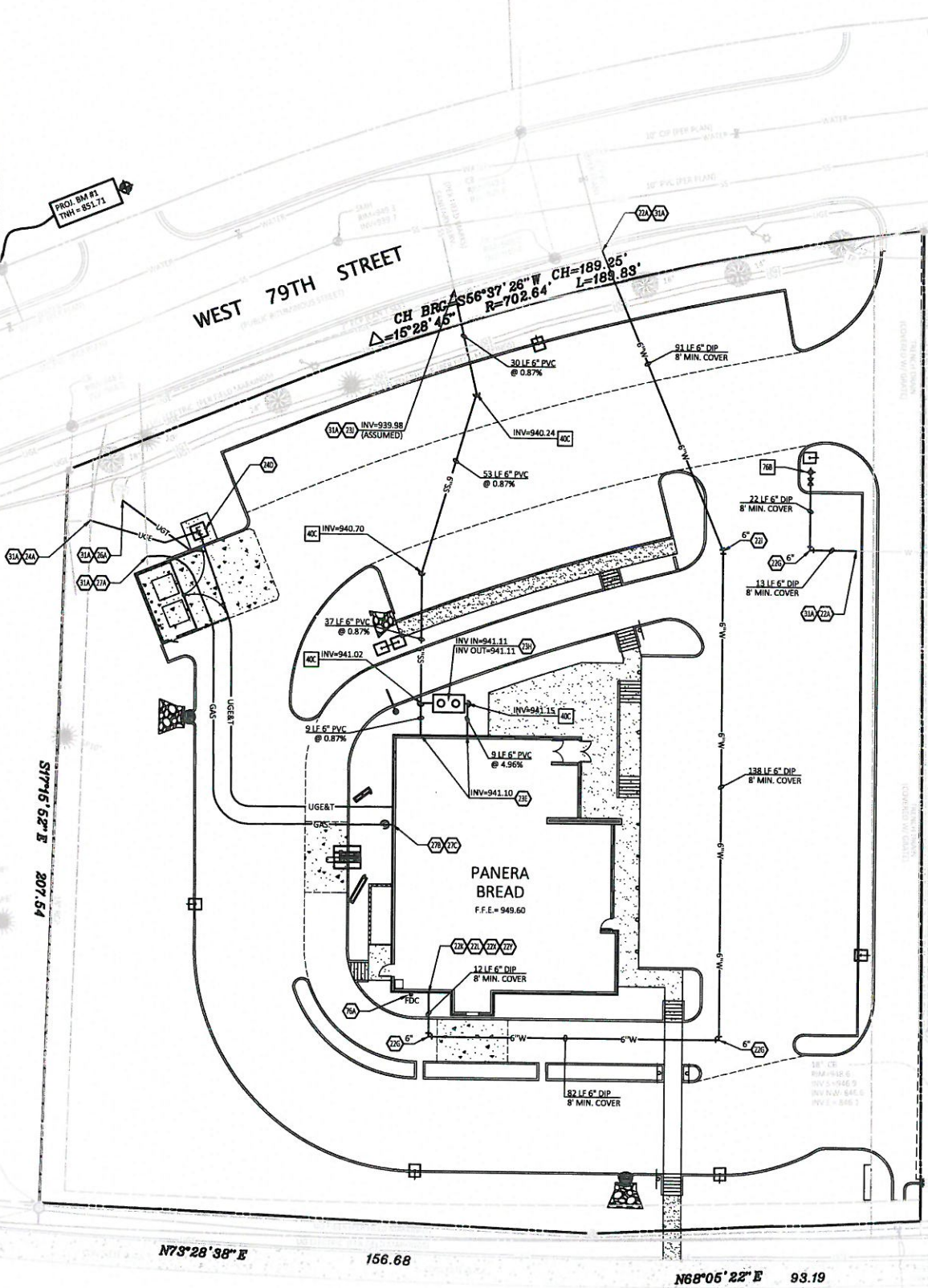
- ALL WATER SERVICE LINES SHALL BE CLASS S2 DUCTILE IRON PIPE WITH 8" MIN. COVER.
- ALL SANITARY SEWER LINES SHALL BE SDR 35 PVC WITH 8" MIN. COVER.
- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
- PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM CEI ENGINEERING AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. CEI ENGINEERING AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
- UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN SPECIFICATIONS: ALL WATER LINE FITTINGS SHALL BE INSTALLED WITH THRUST BLOCKING PER DETAIL 31C. ALL WATER LINE PIPE BEDDING SHALL BE INSTALLED PER DETAIL 42A. ALL SANITARY SEWER PIPE BEDDING SHALL BE INSTALLED PER DETAIL 42B.

#### UTILITY NOTES

- POINT OF CONNECTION - WATER SERVICE (PER LOCAL CODES).
- 90 DEGREE M.J. BEND WITH THRUST BLOCKING (SEE SIZES THIS SHEET).
- 22-1/2 DEGREE M.J. BEND WITH THRUST BLOCKING (SEE SIZES THIS SHEET).
- SPRINKLER ENTRY PER ARCH. PLANS (SEE SIZES THIS SHEET).
- METERED DOMESTIC WATER SERVICE ENTRY PER ARCH. PLANS (SEE SIZES THIS SHEET).
- INTERIOR WATER METER (PER LOCAL CODES).
- INTERIOR BACK FLOW PREVENTER (PER PLUMBING PLANS).
- SANITARY SEWER SERVICE ENTRY (PER PLUMBING PLANS).
- 1,000 GALLON GREASE TRAP WITH CLEAN-OUT (PER PLUMBING PLANS).
- CONNECT TO EXISTING SANITARY SEWER MANHOLE.
- POINT OF CONNECTION FOR ELECTRICAL SERVICE (PER ELECTRIC COMPANY REQUIREMENTS).
- PROPOSED ELECTRIC TRANSFORMER.
- POINT OF CONNECTION FOR UNDERGROUND TELEPHONE (PER TELEPHONE COMPANY REQUIREMENTS).
- POINT OF CONNECTION FOR GAS SERVICE (PER LOCAL GAS COMPANY REQUIREMENTS).
- GAS SERVICE PER LOCAL GAS COMPANY.
- PROPOSED GAS METER.
- LOCATION FOR THIS UTILITY AS SHOWN IS FOR DRAWING PURPOSES ONLY. CONTRACTOR SHALL VERIFY THE EXACT LOCATION IN FIELD PRIOR TO THE CONSTRUCTION OF THE PROPOSED UTILITY LINE TO BE CONNECTED. CONTRACTOR SHALL NOTIFY CEI ENGINEERING IF THE DESIGN AS SHOWN IS NOT ACHIEVABLE.
- FIRE DEPARTMENT CONNECTION (PER PLUMBING PLANS).

#### UTILITY DETAILS

- 40C SANITARY SEWER CLEAN-OUT  
76B TYPICAL HYDRANT INSTALLATION (PER CITY DETAIL 1004).



STATE HIGHWAY 5

REVIEW SET  
NOT FOR CONSTRUCTION

30072	11/8/17	ALC	ALC	PAT	PAT
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW
<b>CEI Engineering Associates, Inc.</b>					
ENGINEERS • PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS					
2025 CENTRE POINTE BLVD., SUITE 210 MENDOTA HEIGHTS, MN 55120					
PH: (651) 452-8960 (651) 452-1149					
<b>PANERA BREAD</b>					
531 W. 79TH STREET					
CHANHASSEN, MN					
<b>UTILITY PLAN</b>					
REV. DATE	11/20/17	REV. 0	SHEET NO. C7		



SITE CALCULATIONS  
ZONING: BH  
TOTAL SITE AREA: 63,153 SF \ 1.45 AC  
NUMBER OF REGULAR PARKING STALLS: 48  
NUMBER OF ACCESSIBLE PARKING STALLS: 3  
TOTAL PARKING STALLS: 51  
EXIST. TREES TO BE PRESERVED: 8  
EXIST. TREES TO BE REMOVED: 8

ORDINANCE LANDSCAPE REQUIREMENTS

BUFFER YARD:  
BUFFER YARD 'B' - 2 CANOPY TREES, 4 UNDERSTORY TREES, 6 SHRUBS/100 LF OF BUFFER YARD (ALONG HWY 5 - 250')  
BUFFER YARD 'C' - 3 CANOPY TREES, 6 UNDERSTORY TREES, 9 SHRUBS/100 LF OF BUFFER YARD (ALONG WEST PROPERTY LINE - 207')

MATERIAL	REQUIRED	PROVIDED
BUFFER YARD 'B'		
CANOPY TREES	5	2 (INSUFFICIENT SPACE FOR ADDITIONAL TREES DUE TO DRAINAGE/UTILITY EASEMENT & BASIN)
UNDERSTORY TREES	10	0 (INSUFFICIENT SPACE FOR ADDITIONAL TREES DUE TO DRAINAGE/UTILITY EASEMENT & BASIN)
SHRUBS	15	43
BUFFER YARD 'C'		
CANOPY TREES	6	6
UNDERSTORY TREES	12	12
SHRUBS	15	41

INTERIOR LANDSCAPING FOR VEHICULAR USE AREAS

FOR EACH 100 SQUARE FEET, OR FRACTION THEREOF, OF VEHICULAR USE AREA, 8 SQUARE FEET OF LANDSCAPED AREA SHALL BE PROVIDED.  
A MINIMUM OF 1 TREE SHALL BE REQUIRED FOR EACH 250 SQUARE FEET, OR FRACTION THEREOF, OF REQUIRED LANDSCAPE AREA.

34,460 SF OF VEHICULAR USE AREA / 100 = 344.6 X 8 = 2,757 SF OF INTERIOR LANDSCAPE AREA REQUIRED  
3,155 SF OF INTERIOR LANDSCAPE AREA PROVIDED  
2,757 SF OF INTERIOR LANDSCAPE AREA / 250 = 11 TREES REQUIRED

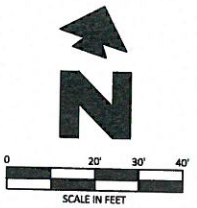
MATERIAL	REQUIRED	PROVIDED
TREES	11	14

FOUNDATION AND AESTHETIC PLANTINGS

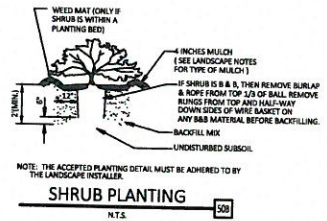
A MINIMUM OF 1 TREE FOR EVERY 30 FEET OF FRONTAGE IS REQUIRED. (ALONG W. 79TH STREET)

189 LF / 30 = 6.3 = 6 TREES REQUIRED

MATERIAL	REQUIRED	PROVIDED
TREES	6	9 (4 NEW + 5 EXISTING)










NOTE:  
SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.










EXISTING LEGEND

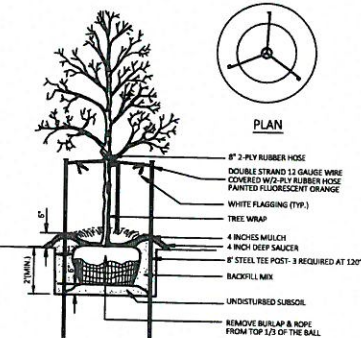
FOUND MONUMENT SET 1/2" IRON PIPE MARKED PLS NO. 121718 CABLE TV PEDISTAL AIR CONDITIONER ELECTRIC MANHOLE ELECTRIC METER ELECTRIC PEDISTAL ELECTRIC TRANSFORMER LIGHT POLE COP WIRE POWER POLE GAS MANHOLE GAS METER TELEPHONE MANHOLE TELEPHONE PEDISTAL SANITARY CLEANHOLE SANITARY MANHOLE CATCH BASIN STORM DRAIN FLARED END SECTION STORM MANHOLE	FIRE DEPT. CONNECTION HYDRANT CURB STOP WATER WELL WATER MANHOLE WATER METER POST INDICATOR VALVE WATER VALVE WELLHEAD FLAC POLE MAIL BOX TRAFFIC SIGN UNKNOWN MANHOLE SOIL BORING SPOT ELEVATION TRAFFIC SIGNAL CONSPICUOUS TREE DECIDUOUS TREE	UNDERGROUND ELECTRIC UNDERGROUND CABLE TV UNDERGROUND FIBER OPTIC OVERHEAD UTILITY UNDERGROUND GAS SANITARY SEWER STORM SEWER WATERMAIN FENCE CURB (TYPICAL) CONTOURS
--	---	---

TREE LIST

SYB	KEY	QTY	COMMON NAME/ BOTANICAL NAME	ROOT	SIZE	REMARKS
	NRO	2	NORTHERN RED OAK Quercus rubra	B&B	2" CAL	PLANT AS SHOWN
	RB	2	RIVER BIRCH Betula nigra	B&B	2" CAL	PLANT AS SHOWN
	AMB	3	AUTUMN MAPLE BLAZE Acer x freemanii 'Jeffersred'	B&B	2" CAL	PLANT AS SHOWN
	CA	13	'SPRING SNOW' CRABAPPLE Malus x 'Spring Snow'	B&B	1.5" CAL	PLANT AS SHOWN
	BSB	10	'AUTUMN BRILLIANCE' SERVICEBERRY Amelanchier x grandiflora	B&B	1.5" CAL	PLANT AS SHOWN
	BA	4	'BLUE ARROW' JUNIPER TREE Juniperus scopulorum 'blue arrow'	6" B&B	6' HEIGHT	PLANT AS SHOWN
	SCB	3	SPRUCE - COLORADO Picea pungens glauca	6" B&B	6' HEIGHT	PLANT AS SHOWN
		37				

SHRUB LIST

SYB	KEY	QTY	COMMON NAME/ BOTANICAL NAME	ROOT	SIZE	REMARKS
	KF	59	KARL FOERSTER - REED GRASS Calamagrostis x Acutiflora 'Karl Foerster'	CONT.	1 GAL	PLANT AS SHOWN
	RS	35	RUSSIAN SAGE Perovskia atriplicifolia	CONT.	1 GAL	PLANT AS SHOWN
	LL	9	LITTLE LIME HYDRANGEA Hydrangea paniculata 'Little Lime'	CONT.	1 GAL	PLANT AS SHOWN
	MF	48	MISCANTHUS 'FLAME' GRASS Miscanthus sinensis 'Purpureascens'	CONT.	1 GAL	PLANT AS SHOWN
	BES	44	BLACK EYED SUSAN Rudbeckia hirta	CONT.	1 GAL	PLANT AS SHOWN
	DBB	59	DWARF BURNING BUSH Euonymus alatus 'Compactus'	CONT.	1 GAL	PLANT AS SHOWN
	GMS	21	GOLD MOUND SPIREA Spiraea japonica 'Goldmound'	CONT.	1 GAL	PLANT AS SHOWN
		275				



NOTE: SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

TREE PLANTING

PROPOSED LEGEND

+++	KENTUCKY BLUE GRASS SOLID SOO OVER 4" CLEAN TOPSOIL
---	MIDOT WETLAND SEED MIX 35-241
---	4" HARD SHREDDED MULCH OVER LANDSCAPE FABRIC

GENERAL LANDSCAPE NOTES

- LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE LANDSCAPE CONSTRUCTION BEGINS.
- NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.
- ALL LANDSCAPE MATERIALS SHALL BE IN COMPLIANCE WITH THE GRADES AND STANDARDS FOR NURSERY PLANTS, AND SHALL CONFORM TO MIDOT SPECIFICATIONS.
- ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- MAINTAIN 5' MIN. HORIZONTAL SEPARATION BETWEEN TREE PLANTINGS AND ALL UTILITIES.
- A FULLY DESIGNED IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED BY IRRIGATION CONTRACTOR. IRRIGATION DESIGNER SHALL BE RESPONSIBLE FOR SIZING AND SPECIFYING BACKFLOW PREVENTER IN ACCORDANCE WITH LOCAL CODES.
- CONFIRM HEALTH OF TREES IN THE EXISTING PARKING LOT ISLANDS, REPLACE AS NEEDED.

LANDSCAPE NOTES

50A STEEL EDGING.

LANDSCAPE DETAILS

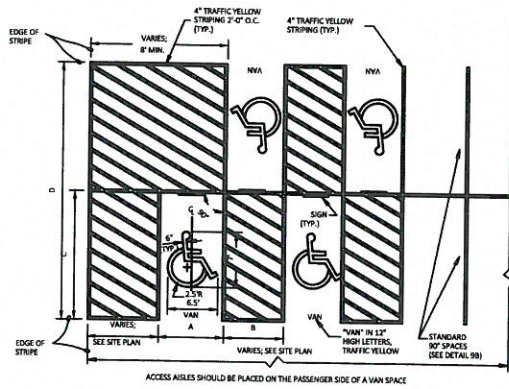
50A TREE PLANTING  
50B SHRUB PLANTING

REVIEW SET  
NOT FOR CONSTRUCTION

30072  
CEI PROJECT NO. 11/29/17  
A/C A/C PAT PAT  
DPOR PM DES DRW  
Engineering Associates, Inc.  
ENGINEERS PLANNERS SURVEYORS  
LANDSCAPE ARCHITECTS ENVIRONMENTAL SCIENTISTS  
2025 CENTRE POINTE BLVD., SUITE 210 PH: (651) 452-8960  
MENDOTA HEIGHTS, MN 55120 (651) 452-1149  
PANERA BREAD  
531 W. 79TH STREET  
CHANNASSEN, MN  
LANDSCAPE PLAN  
REV DATE 11/30/17  
REV-0 SHEET NO. C8



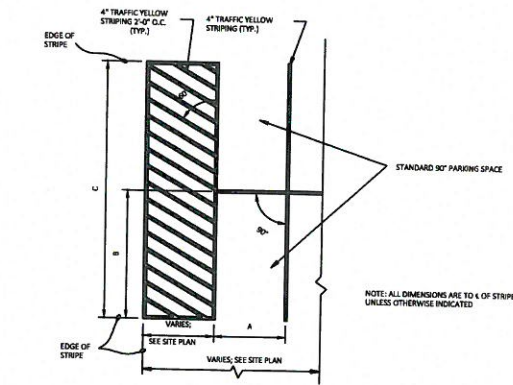
JOB # 30072 DRAWING: 30072CS.dwg LAST SAVED BY: A TREMBLAY LOCATION: P:\30000\30072\30072.dwg



DIMENSION CHART			
A	8'	8'	8'
B	18'	18'	18'
C	18'	18'	20'
D	30'	30'	40'

NOTE: SEE SITE PLAN FOR TOTAL LAYOUT  
NOTE: ALL DIMENSIONS ARE TO 1/4" OF STRIPE UNLESS OTHERWISE INDICATED

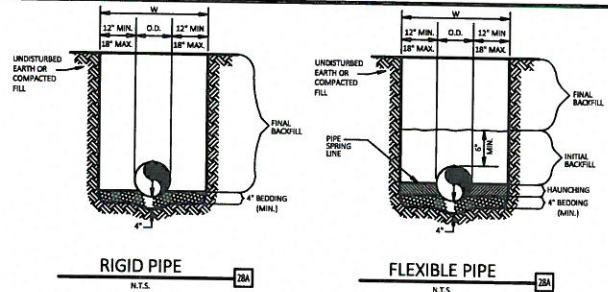
90° VAN ACCESSIBLE PARKING SPACE STRIPING



DIMENSION CHART			
A	9'	9.5'	10'
B	18'	18'	18'
C	30'	30'	30'

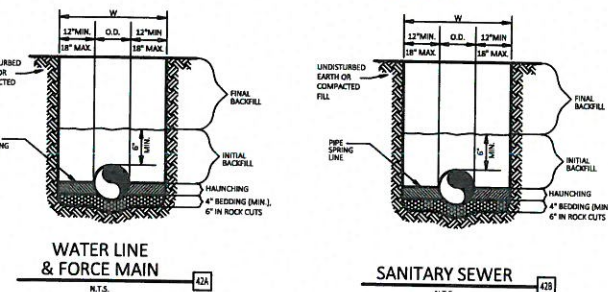
NOTE: SEE SITE PLAN FOR TOTAL LAYOUT

90° PARKING SPACE STRIPING



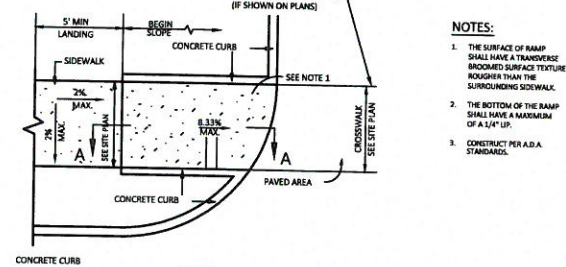
- GENERAL NOTES:
1. BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 90% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
  2. HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS I-C COMPACTED TO 90% STANDARD PROCTOR.
  3. INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS I-C COMPACTED TO 90% STANDARD PROCTOR.
  4. INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS I-B OR CLASS I-C COMPACTED TO 90% STANDARD PROCTOR.
  5. FINAL BACKFILL SHALL BE CLASS I-B, OR I-C COMPACTED AS NOTED IN NOTES 3 AND 4.
  6. FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS I-B OR CLASS I-C COMPACTED TO 90% STANDARD PROCTOR.
  7. ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-88.
  8. ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 12" LIFT LOTS IN ACCORDANCE WITH ASTM D 698. CLASS II AND I-A MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE CONTENT.
  9. FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
  10. ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)

STORM SEWER TRENCH AND BEDDING

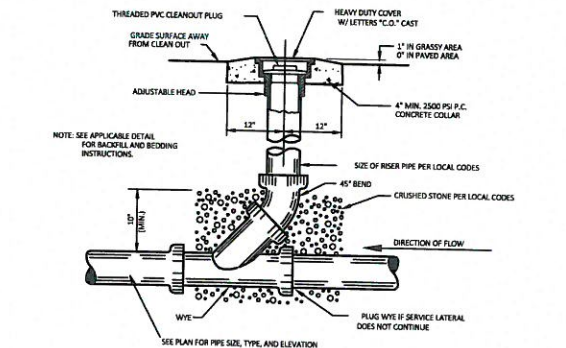
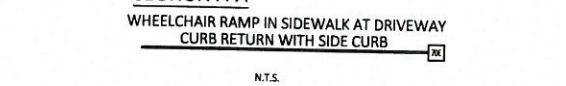


- GENERAL NOTES:
1. BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 90% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
  2. HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS I-C COMPACTED TO 90% STANDARD PROCTOR.
  3. INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS I-C COMPACTED TO 90% STANDARD PROCTOR.
  4. INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS I-B OR CLASS I-C COMPACTED TO 90% STANDARD PROCTOR.
  5. FINAL BACKFILL SHALL BE CLASS I-B, OR I-C COMPACTED AS NOTED IN NOTES 3 AND 4.
  6. FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS I-B OR CLASS I-C COMPACTED TO 90% STANDARD PROCTOR.
  7. ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321, LATEST EDITION.
  8. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D 698. CLASS II AND I-A MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE CONTENT.
  9. FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
  10. ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)

SANITARY SEWER AND WATER LINE TRENCHING AND BEDDING

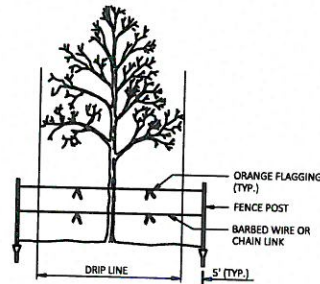


SECTION A-A WHEELCHAIR RAMP IN SIDEWALK AT DRIVEWAY CURB RETURN WITH SIDE CURB

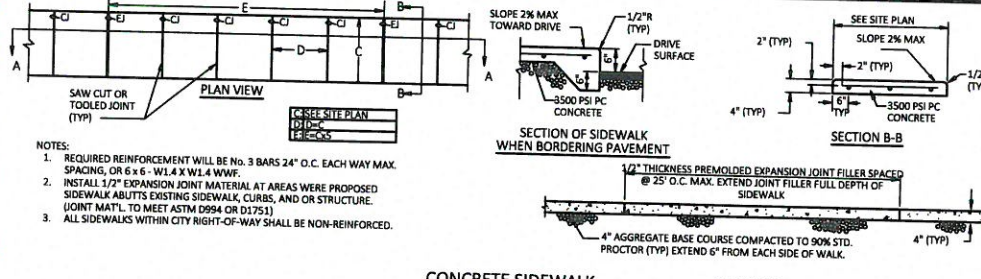


SANITARY SEWER CLEAN-OUT

- TREE PROTECTION NOTES:
1. ALL TREES SHOWN ON THIS PLAN TO BE RETAINED SHALL BE PROTECTED DURING ALL PHASES OF DEMOLITION/CONSTRUCTION WITH TEMPORARY FENCING. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH LANDSCAPE CONTRACTOR.
  2. TREE PROTECTION FENCES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING OR GRADING). CLEARING SHALL BE DONE BY HAND.
  3. FENCES SHALL COMPLETELY SURROUND TREE OR CLUSTERS OF TREES; SHALL BE LOCATED 5' FROM THE OUTERMOST LIMITS OF THE TREE BRANCHES (DRIP LINE); AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION BY CONTRACTOR. PROJECT IN ORDER TO PREVENT THE FOLLOWING:
    - A. SOIL COMPACTION IN THE ROOT ZONE AREA RESULTING FROM VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT OR MATERIALS.
    - B. ROOT ZONE DISTURBANCES DUE TO GRADE CHANGES (GREATER THAN 6 INCHES CUT OR FILL) OR TRENCHING.
    - C. WOUNDS TO EXPOSED ROOTS, TRUNK OR LIMBS BY MECHANICAL EQUIPMENT.
    - D. OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL STORAGE, CEMENT TRUCK CLEANING, AND FIRES.
  4. EXCEPTIONS TO INSTALLING FENCES 5' FROM TREE DRIP LINES MAY BE PERMITTED IN THE FOLLOWING CASES:
    - A. WHERE PERMEABLE PAVING IS TO BE INSTALLED; ERECT THE FENCE AT THE OUTER LIMITS OF THE PERMEABLE PAVING AREA.
    - B. WHERE TREES ARE CLOSE TO THE PROPOSED BUILDING; ERECT THE FENCE NO CLOSER THAN 6 FEET TO THE BUILDING.
  5. WHERE ANY OF THE ABOVE EXCEPTIONS RESULT IN A FENCE BEING CLOSER THAN 4 FEET TO A TREE TRUNK, PROTECT THE TRUNK WITH STRAPPED-ON PLANKING TO A HEIGHT OF 8 FEET (OR TO THE LIMITS OF LOWER BRANCHES) IN ADDITION TO THE REDUCED FENCING PROVIDED.
  6. WHERE ANY OF THE ABOVE EXCEPTIONS RESULT IN AREAS OF UNPROTECTED ROOT ZONES (UNDER DRIP LINES), THOSE AREAS SHOULD BE COVERED WITH 4 INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION.
  7. ALL GRADING WITHIN PROTECTED ROOT ZONE AREAS SHALL BE DONE BY HAND OR WITH SMALL EQUIPMENT TO MINIMIZE ROOT DAMAGE. PRIOR TO GRADING, RELOCATE PROTECTIVE FENCING TO 2 FEET BEHIND THE GRADE CHANGE AREA. NO ROOT OVER 1 INCH DIAMETER WILL BE CUT.
  8. ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED WITH A CLEAN CUT FLUSH WITH THE SOIL. BACKFILL ROOT AREAS WITH GOOD QUALITY TOP SOIL IMMEDIATELY. IF EXPOSED ROOT AREAS ARE NOT BACKFILLED WITHIN 2 DAYS, COVER THEM WITH ORGANIC MATERIAL IN A MANNER WHICH REDUCES SOIL TEMPERATURE AND MINIMIZES WATER LOSS DUE TO EVAPORATION.
  9. PRIOR TO EXCAVATION OR GRADE CUTTING WITHIN TREE DRIP LINES, MAKE A CLEAN CUT BETWEEN THE DISTURBED AND UNDISTURBED ROOT ZONES WITH A ROCK SAW OR SIMILAR EQUIPMENT TO MINIMIZE DAMAGE TO REMAINING ROOTS.
  10. TREES MOST HEAVILY IMPACTED BY CONSTRUCTION ACTIVITIES SHOULD BE WATERED DEEPLY ONCE A WEEK DURING PERIODS OF HOT, DRY WEATHER. TREE CROWNS SHOULD BE SPRAYED WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
  11. NO CONDUIT OR UTILITIES CAN BE INSTALLED WITHIN TREE PROTECTION AREAS. ANY TRENCHING REQUIRED FOR THE INSTALLATION OF LANDSCAPE IRRIGATION SHALL BE PLACED AS FAR FROM EXISTING TREE TRUNKS AS POSSIBLE.
  12. NO LANDSCAPE TOPSOIL DRESSING GREATER THAN 4 INCHES SHALL BE PERMITTED WITHIN THE DRIP LINE OF TREES. NO SOIL IS PERMITTED ON THE ROOT FLARE OF ANY TREE. GRADING LIMITED TO 3 INCH CUT.
  13. PRUNING TO PROVIDE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC AND EQUIPMENT SHALL TAKE PLACE BEFORE CONSTRUCTION BEGINS.
  14. ALL PRUNING MUST BE DONE ACCORDING TO RECOGNIZED, APPROVED STANDARDS OF THE INDUSTRY (REFERENCE THE NATIONAL ARBORIST ASSOCIATION PRUNING STANDARDS FOR SHADE TREES) BY A CERTIFIED ARBORIST AND SHALL BE APPROVED AND SUPERVISED BY OWNERS REPRESENTATIVE OR PROJECT URBAN FORESTER.
  15. DAMAGE TO TREES OR ANY NATURAL RESOURCE DUE TO CONTRACTOR'S NEGLIGENCE DURING THE CONSTRUCTION PHASE SHALL BE APPRAISED BY THE OWNERS REPRESENTATIVE AND ORDERED REPAIRED, REPLACED, OR COMPENSATED.

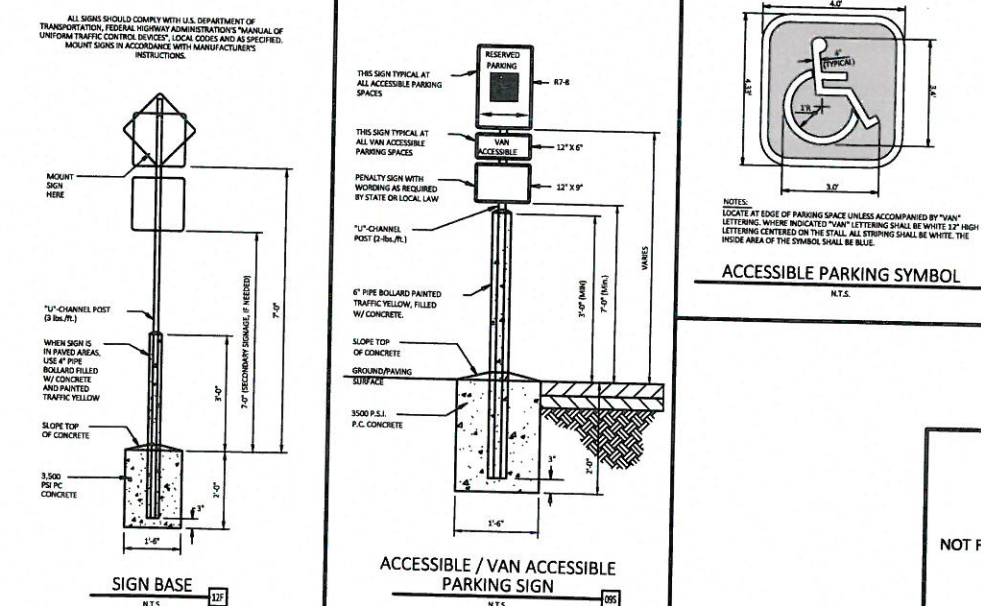


TREE PROTECTION

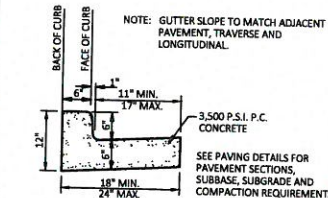
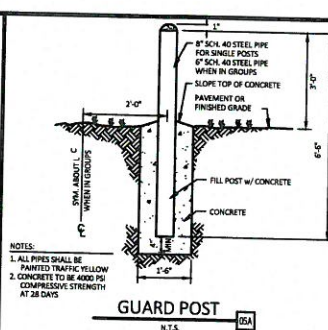


- NOTES:
1. REQUIRED REINFORCEMENT WILL BE NO. 3 BARS 24" O.C. EACH WAY MAX. SPACING, OR 6 x 6 - W14 X W14 WWF.
  2. INSTALL 1/2" EXPANSION JOINT MATERIAL AT AREAS WHERE PROPOSED SIDEWALK ADJUTS EXISTING SIDEWALK, CURBS, AND/OR STRUCTURE. (JOINT MAT'L. TO MEET ASTM D994 OR D1753)
  3. ALL SIDEWALKS WITHIN CITY RIGHT-OF-WAY SHALL BE NON-REINFORCED.

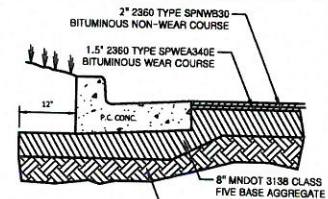
CONCRETE SIDEWALK



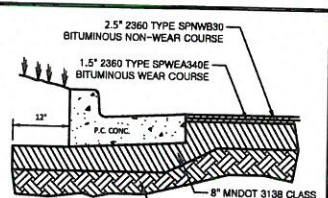
SIGN BASE



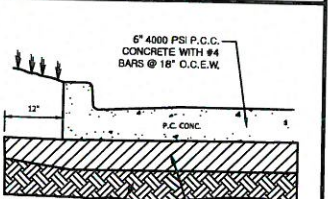
TYPE "A" CONCRETE CURB AND GUTTER



STANDARD DUTY ASPHALT PAVING



HEAVY DUTY ASPHALT PAVING



HEAVY DUTY CONCRETE PAVING

30072 11/30/17 ALC ALC PAT PAT  
CEI PROJECT NO. INITIAL DATE DPOR PM DES DRW

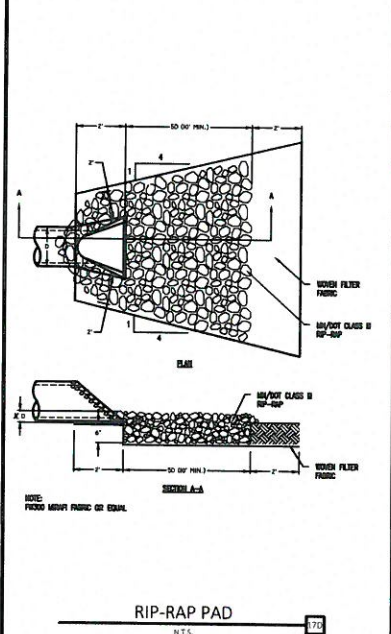
**CEI Engineering Associates, Inc.**  
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LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS

2025 Centre Points Blvd., Suite 210  
Mendota Heights, MN 55120 Ph: (651) 452-8860  
(651) 452-1149

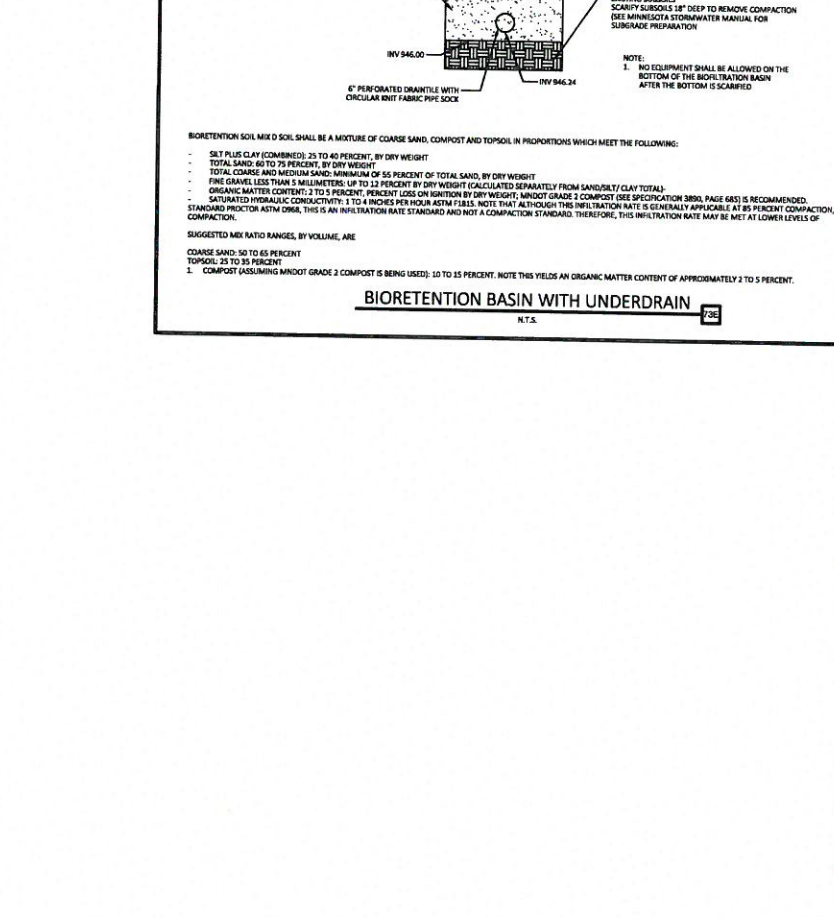
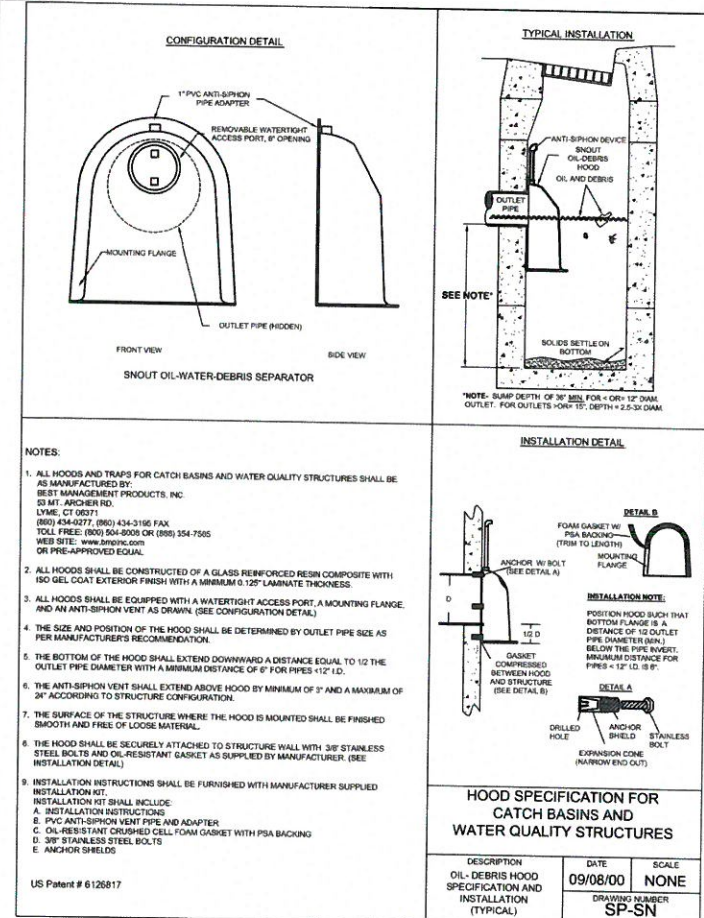
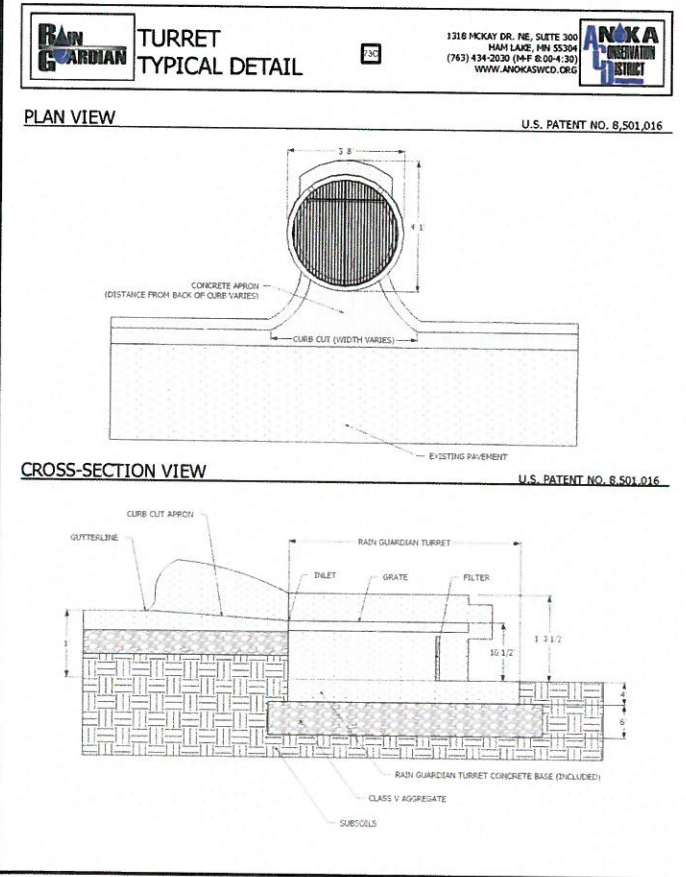
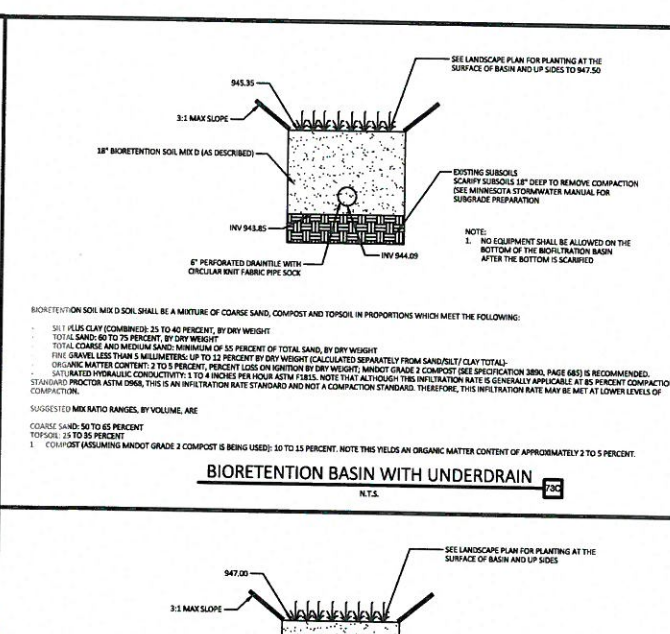
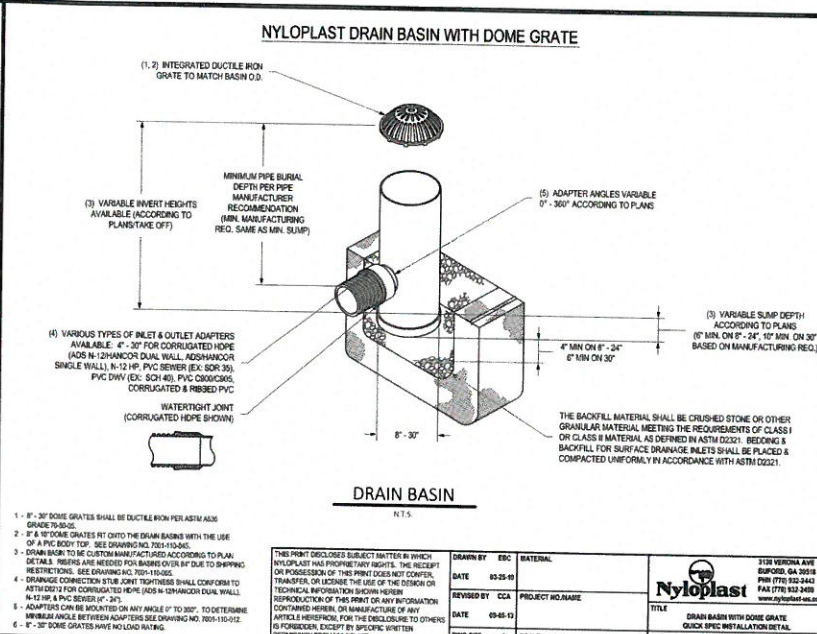
**PANERA BREAD**  
631 W. 79th STREET  
CHANNASSEN MN

**DETAIL SHEET 1** REV DATE 11/30/17 REV-0 SHEET NO. C9





DIMENSIONS		MANHOLE TYPE					
P	B	C	D	E	F	G	
K	48"	60"	72"	84"	96"	102"	
T	5"	6"	7"	8"	9"	9"	
W	58"	72"	86"	100"	113"	119"	
H	27"	27"	27"	27"	27"	27"	



JOB # 30072 DRAWING: 30072CS.dwg LAST SAVED BY: ATREMBLY LOCATION: P:\30000\30072\0 Drawings\Design\Rev-0\30072CS.dwg

30072 11/30/17 ALC ALC PAT PAT  
CEI PROJECT NO. INITIAL DATE DPOR PM DES DRW

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2025 Centre Pointe Blvd., Suite 210  
Mendota Heights, MN 55120

Ph: (651) 452-8960  
(651) 452-1149

**PANERA BREAD**  
531 W. 79th STREET  
CHANNASSEN MN

**DETAIL SHEET 2**

REV DATE 11/30/17  
REV-0

SHEET NO. C10

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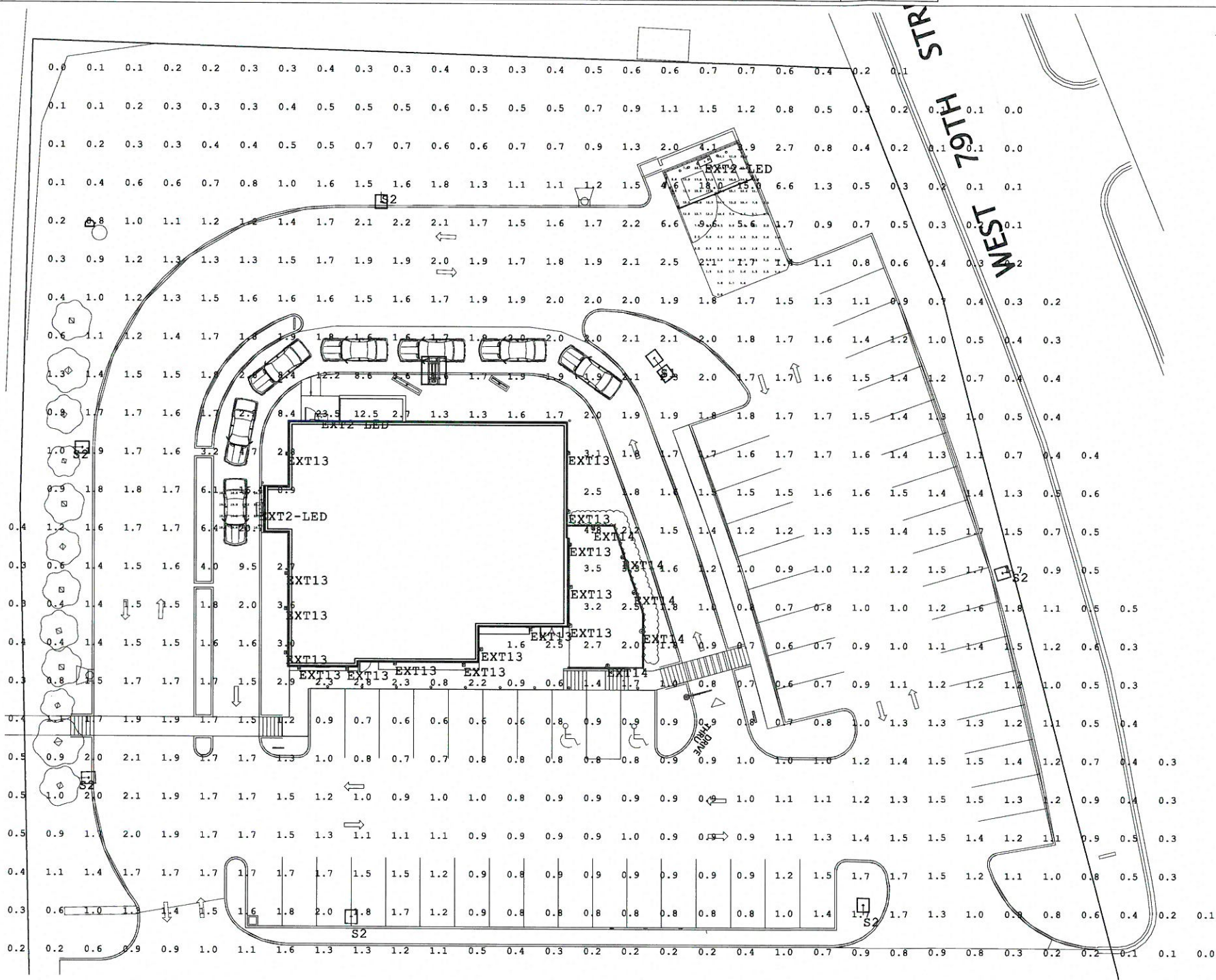


Standard Electric Luminaire Schedule

Symbol	Qty	Label	Arrangement	Manufacturer	Description	Total Lumens	Total Wattage	LLF	BUG Rating	Mounting Height
	1	S1	2 @ 180 DEG	Lithonia Lighting	DSX1 LED 30C 1000 40K T5W MVOLT	23622	210	0.920	B4-U2-G2	25'
	6	S2	SINGLE	Lithonia Lighting	DSX1 LED 30C 1000 40K T3M MVOLT MA	10201	104.66	0.920	B2-U3-G2	25'
	3	EXT2-LED	SINGLE	Lithonia Lighting	KAXW LED P3 40K R3 MVOLT	9446	79	0.880	B2-U2-G2	25'
	15	EXT13	SINGLE	Amerlux, LLC	ACCS-27K-60	548	9	0.880	N.A.	10'
	5	EXT14	SINGLE	Green Creative Ltd	49063OZ	889	8.8	0.720	B0-U3-G1	6'

Calculation Summary

Label	CalcType	Avg	Max	Min	Avg/Min	Max/Min	Units
Drive Thru	Illuminance	19.59	23.8	15.9	1.23	1.50	Fc
Panera Site	Illuminance	1.46	23.5	0.0	N.A.	N.A.	Fc
Trash Enclosure	Illuminance	7.50	20.2	1.2	6.25	16.83	Fc



Rev. #	Description	Rev. Date
R1		
R2		
R3		
R4		
R5		

Disclaimer: These calculations are based on the information provided in the project description. The designer is not responsible for the accuracy of the calculations or the results of the calculations. The calculations are based on the information provided in the project description and are not a guarantee of performance. The calculations are based on the information provided in the project description and are not a guarantee of performance. The calculations are based on the information provided in the project description and are not a guarantee of performance.

Project: Panera Bread #6038  
Chanhasen, NM

Date: 10/25/2017  
Revision #: XX  
Page #: Page 1 of 1

Size: ARCH D  
Created By: Ryan Hunt

STANDARD ELECTRIC  
14 Lewis Drive  
Wilmington, NC 28403  
919-381-1800  
Panera@standardelectric.com

SE  
NATIONAL



11/30/2017 2:26:08 PM



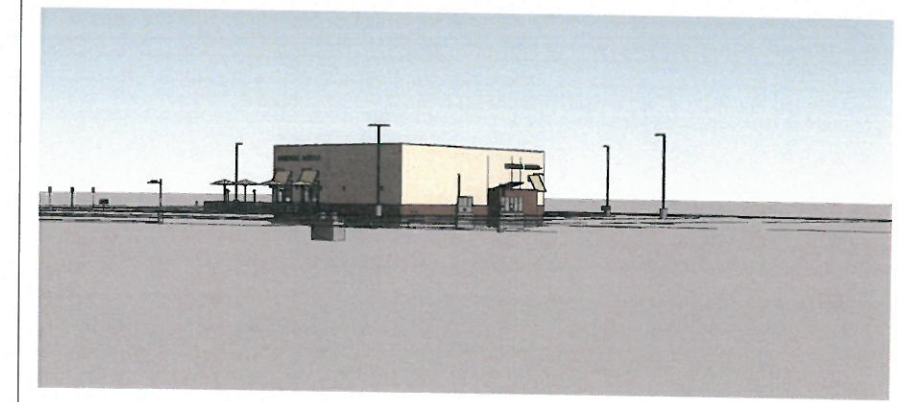
3 | View from across street



4 | View from Entry Drive



5 | View from 36th & Broadway



6 | View from HyVee



1 | 3D View 1

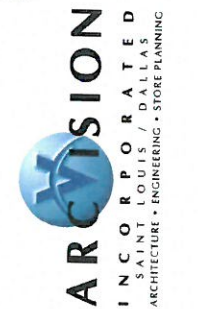


2 | 3D View 2

Bakery-Cafe:

#6038

Project Team:

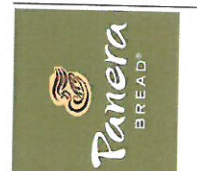


Professional Seal:

Project Title:

**Bakery Cafe #6038**  
531 W. 79th Street  
Chanhassen, MN 55317

PERMIT / BID PACKAGE



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No.	Description	Date
1	Owner Comments	11/2/17

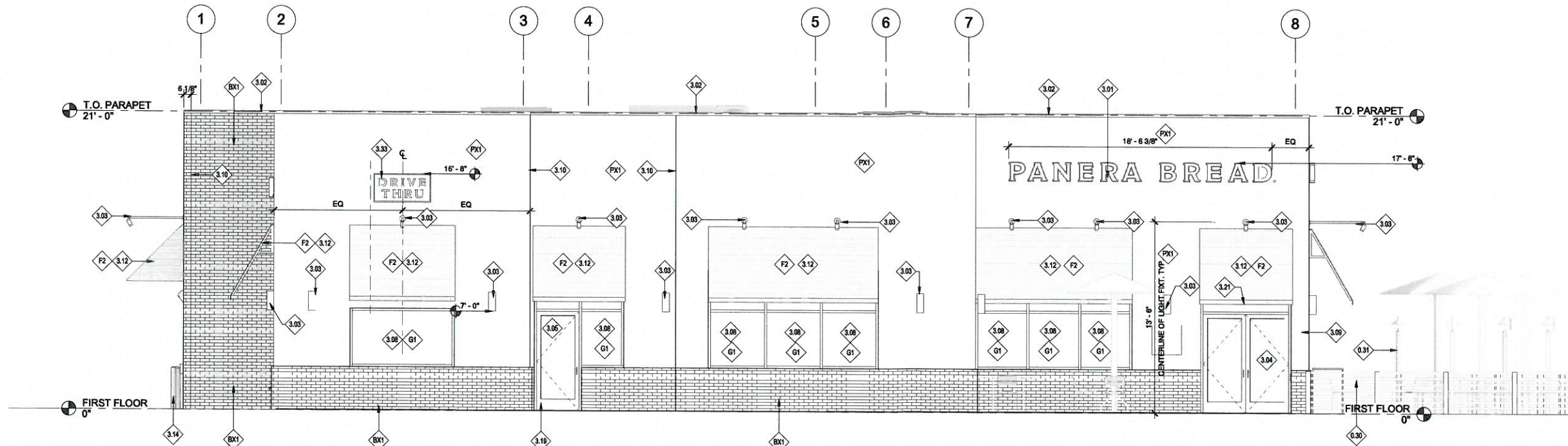
**EXTERIOR  
PERSPECTIVE  
VIEWS**

Project Number: 170317  
Drawn By: ARCV, MH  
Issue Date: 08.27.17  
DPA: BRIAN B. DM: DAN C. CPM: KEVIN C.  
Sheet Number: **A300**

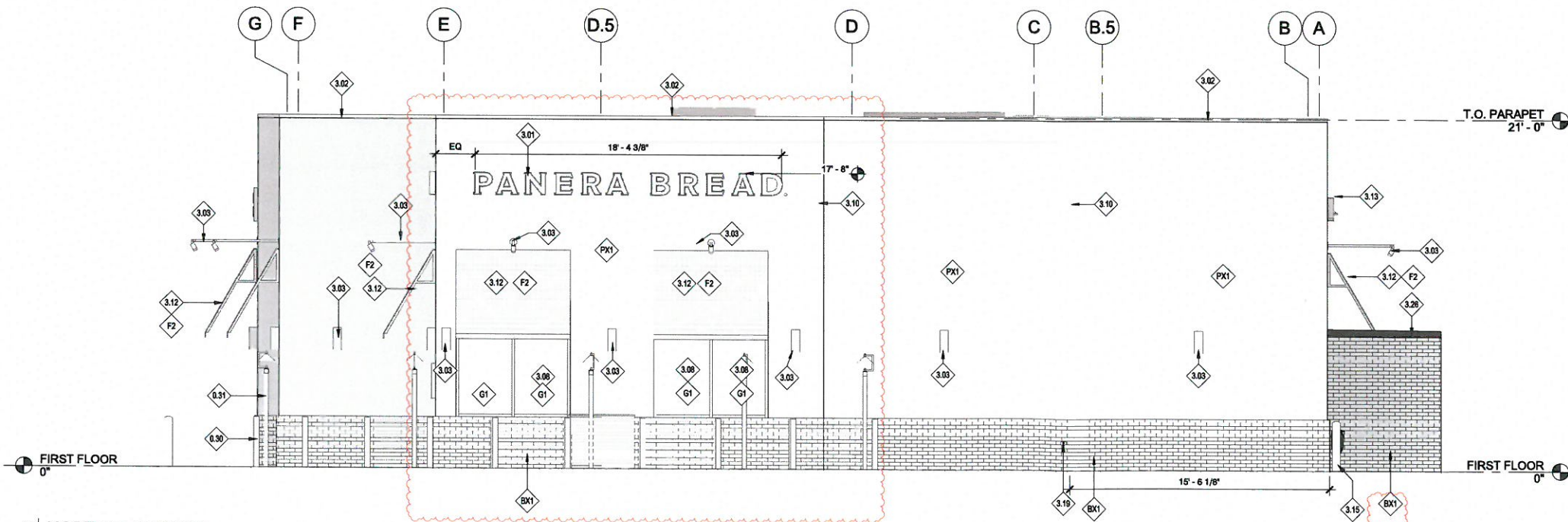


11/20/2017 9:28:54 PM

PG 2010.01



1 EAST ELEVATION  
1/4" = 1'-0"



2 NORTH ELEVATION  
1/4" = 1'-0"

### KEYED NOTES

- 0.30 PATIO RAILING BY PANERA, COLOR: CHARCOAL REFER TO 23/A014, BY TENANT
- 0.31 PATIO SIDEWALK LIGHTS BY PANERA, REFER TO TENANT REFLECTED CEILING PLAN FOR FURTHER INFORMATION.
- 3.01 INTERNALLY ILLUMINATED LED CHANNEL LETTERS. SIGN PROVIDED AND INSTALLED BY SIGN VENDOR UNDER SEPARATE PERMIT. G.C. TO PROVIDE BLOCKING IN WALL FOR SIGN AND PROVIDE ACCESS PANEL ON BACKSIDE OF PARAPET FOR ACCESS AS REQUIRED. (UNDER SEPARATE SIGNAGE PERMIT)
- 3.02 PRE-FINISHED METAL COPING | FINISH: DARK BRONZE
- 3.03 WALL MOUNTED LIGHT FIXTURE. FIXTURES SHALL BE PROVIDED AND INSTALLED BY GC. GC TO PROVIDE POWER AS REQUIRED. REFER TO REFLECTED CEILING PLAN FOR ADDITIONAL INFORMATION.
- 3.04 MAIN ENTRANCE/EXIT | REFER TO A801 AND A811 FOR ADDITIONAL INFORMATION.
- 3.05 SECONDARY ENTRANCE/EXIT | REFER TO A801 AND A811 FOR ADDITIONAL INFORMATION.
- 3.08 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLAZING. COLOR: DARK BRONZE REFER TO SHEET A611 FOR FURTHER INFORMATION.
- 3.09 BREAK METAL AS REQUIRED. FINISH TO MATCH ADJACENT STOREFRONT SYSTEM.
- 3.10 CONTROL JOINT(S) WHERE INDICATED | PROVIDE SEALANT TO MATCH ADJACENT WALL MATERIAL.
- 3.12 PRE-MANUFACTURED FABRIC AWNING PROVIDED AND INSTALLED BY SIGN VENDOR UNDER SEPARATE PERMIT. GC SHALL PROVIDE APPROPRIATE BLOCKING AS REQUIRED BY SIGN VENDOR. REFER TO SHOP DRAWINGS FOR ADDITIONAL INFORMATION.
- 3.13 SECURITY CAMERA INSTALLED BY TENANT | COORDINATE ROUGH-IN LOCATION(S) AND HEIGHTS WITH PANERA CONSTRUCTION MANAGER PRIOR TO INSTALLATION. G.C. TO RUN CONDUIT & J-BOX.
- 3.14 4" DIA. CONCRETE BOLLARD | FINISH: PAINT CHARCOAL | REFER TO SHEET A014 FOR FURTHER INFORMATION
- 3.15 6" DIA. CONCRETE BOLLARD | FINISH: PAINT P107 | REFER TO SHEET A014 FOR FURTHER INFORMATION
- 3.19 HOSE BIBB | RECESSED STAINLESS STEEL BOX. REFER TO PLUMBING DRAWINGS FOR LOCATION AND ADDITIONAL INFORMATION. INSTALLED BY TENANT.
- 3.21 BUILDING ADDRESS SIGN | VERIFY SIZE, LOCATION, AND STYLE WITH LOCAL FIRE DEPARTMENT
- 3.26 STANDING SEAM METAL ROOFING, 12" SPACING. | COLOR: DARK BRONZE
- 3.33 INTERNALLY ILLUMINATED LED 'DRIVE THRU' SIGN BY TENANT. COLOR: BLACK CHANNEL WITH REVERSE (HALO) ILLUMINATION AND WHITE LETTERS. ALL SIGNAGE UNDER SEPARATE PERMIT. G.C. SHALL PROVIDE BLOCKING IN WALL FOR SIGN AND PROVIDE ACCESS PANEL ON BACKSIDE OF PARAPET FOR ACCESS AS REQUIRED.
- BX1 BRICK MASONRY SYSTEM VENEER TO BE PAINTED, MODULAR SIZE | MFR: ENDURAMAX, CLAY BRICK | COLOR: #AF-155 WEINMARANER
- F2 FABRIC AWNING | OPEN ENDED SLAB | COLOR: SUNBRELLA - ASPEN, (3" PROJECTION @ 1/4" HEIGHT AT TYPICAL & 4" PROJECTION @ DRIVE THRU)
- G1 ALUMINUM STOREFRONT | 2" x 4 1/2" PROFILE | THERMAL BREAK | COLOR: DARK BRONZE | 1" CLEAR INSULATED GLAZING: PPG SOLARBAN 70XL (OR APPROVED EQUAL) | REFER TO SHEET A611 FOR ADDITIONAL INFORMATION
- PX1 EIFS SYSTEM | TEXTURE: TO MATCH DRYVIT LIMESTONE FINISH | COLOR: BENJAMIN MOORE #965 BERBER WHITE

Bakery Cafe:

# #6038

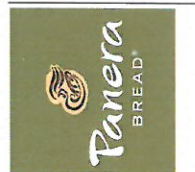
Project Team:

**ARCVISION**  
INCORPORATED  
SAINT LOUIS, MISSOURI  
ARCHITECTURE • ENGINEERING • STORE PLANNING

Professional Seal:

Project Title:

**Bakery Cafe #6038**  
531 W. 79th Street  
Chanhassen, MN 55317



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No.	Description	Date
1	Owner Comments	11/2/17

### EXTERIOR ELEVATIONS

Project Number: 170917  
Drawn By: CAO, MH  
Issue Date: 09.27.17  
DPM: BRIAN B. DAN C. KEVIN C.  
Sheet Number: **A301**



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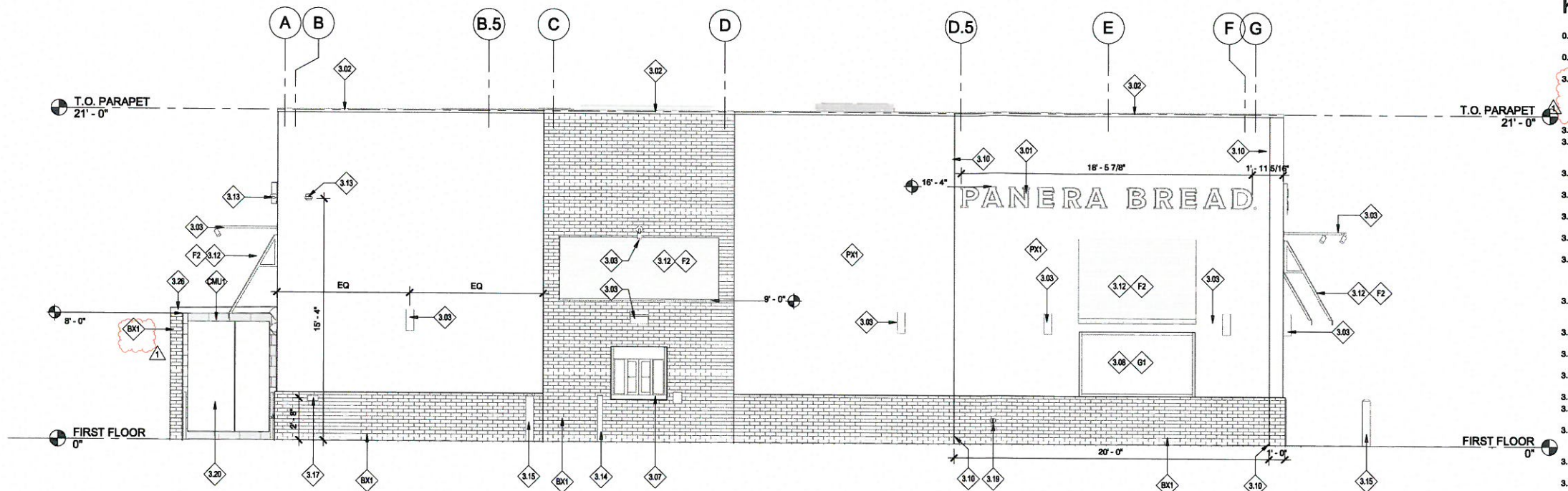
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## GENERAL NOTES:

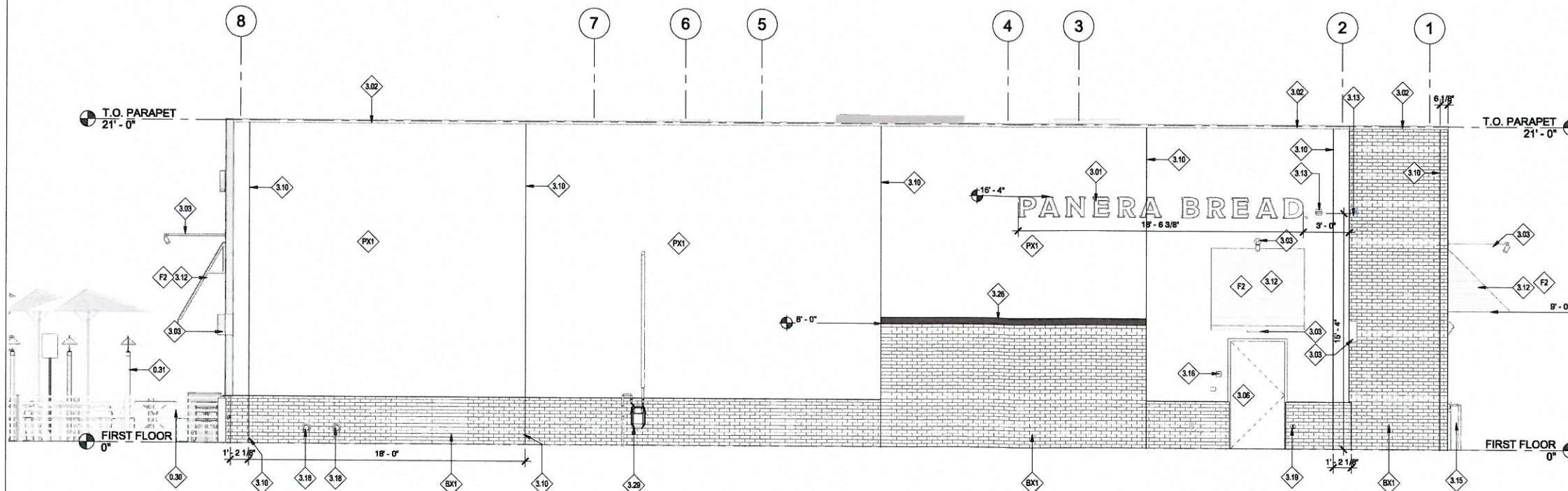
A. ALL GLAZING TO BE G1 UNLESS NOTED OTHERWISE. FOR STOREFRONT / WINDOW ELEVATIONS SEE SHEET A611.

## KEYED NOTES

- 0.30 PATIO RAILING BY PANERA, COLOR: CHARCOAL REFER TO 23/A014, BY TENANT
- 0.31 PATIO SIDEWALK LIGHTS BY PANERA, REFER TO TENANT REFLECTED CEILING PLAN FOR FURTHER INFORMATION
- 3.01 INTERNALLY ILLUMINATED LED CHANNEL LETTERS, SIGN PROVIDED AND INSTALLED BY SIGN VENDOR UNDER SEPARATE PERMIT. G.C. TO PROVIDE BLOCKING IN WALL FOR SIGN AND PROVIDE ACCESS PANEL ON BACKSIDE OF PARAPET FOR ACCESS AS REQUIRED. (UNDER SEPARATE SIGNAGE PERMIT)
- 3.02 PRE-FINISHED METAL COPING | FINISH: DARK BRONZE
- 3.03 WALL MOUNTED LIGHT FIXTURE, FIXTURES SHALL BE PROVIDED AND INSTALLED BY GC. GC TO PROVIDE POWER AS REQUIRED. REFER TO REFLECTED CEILING PLAN FOR ADDITIONAL INFORMATION.
- 3.06 HOLLOW METAL SERVICE DOOR, REFER TO A601 FOR ADDITIONAL INFORMATION. | PAINT TO MATCH ADJACENT WALL COLOR.
- 3.07 DRIVE-THRU WINDOW | MFR: QUIKSERV | MODEL: FM42E | COLOR TO MATCH STOREFRONT, INSTALLED BY LL.
- 3.08 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLAZING, COLOR: DARK BRONZE REFER TO SHEET A611 FOR FURTHER INFORMATION.
- 3.10 CONTROL JOINT(S) WHERE INDICATED | PROVIDE SEALANT TO MATCH ADJACENT WALL MATERIAL.
- 3.12 PRE-MANUFACTURED FABRIC AWNING PROVIDED AND INSTALLED BY SIGN VENDOR UNDER SEPARATE PERMIT. GC SHALL PROVIDE APPROPRIATE BLOCKING AS REQUIRED BY SIGN VENDOR. REFER TO SHOP DRAWINGS FOR ADDITIONAL INFORMATION.
- 3.13 SECURITY CAMERA INSTALLED BY TENANT | COORDINATE ROUGH-IN LOCATION(S) AND HEIGHTS WITH PANERA CONSTRUCTION MANAGER PRIOR TO INSTALLATION. G.C. TO RUN CONDUIT & J-BOX.
- 3.14 4" DIA. CONCRETE BOLLARD | FINISH: PAINT CHARCOAL | REFER TO SHEET A014 FOR FURTHER INFORMATION
- 3.15 6" DIA. CONCRETE BOLLARD | FINISH: PAINT P107 | REFER TO SHEET A014 FOR FURTHER INFORMATION
- 3.16 FIRE DEPARTMENT ACCESS BOX | INSTALLED ADJACENT SERVICE DOOR. COORDINATE LOCATION WITH LOCAL FIRE DEPARTMENT.
- 3.17 FIRE DEPARTMENT CONNECTION (FDC)
- 3.18 NICKEL BRONZE NOZZLE R/W/OVERFLOW DRAIN THRU ROOF, MIN. 12" ABOVE GRADE. SEE DETAIL 24/A103. INSTALLED BY LL.
- 3.19 HOSE BIBB | RECESSED STAINLESS STEEL BOX. REFER TO PLUMBING DRAWINGS FOR LOCATION AND ADDITIONAL INFORMATION. INSTALLED BY TENANT.
- 3.20 GATE ENCLOSURE AT CART CORRAL | MFR: TREX COMPOSITE PLANK | COLOR: SADDLE | INSTALLED BY LL.
- 3.26 STANDING SEAM METAL ROOFING, 12" SPACING | COLOR: DARK BRONZE
- 3.29 GAS METER - REFER TO PLUMBING DRAWINGS FOR FURTHER INFORMATION
- △ BX1 BRICK MASONRY SYSTEM VENEER TO BE PAINTED, MODULAR SIZE | MFR: ENDURAMAX, CLAY BRICK | COLOR: #AF-155 WEINMARANER
- CMU1 SMOOTH FACE CONCRETE BLOCK, PAINT TO MATCH MAIN BUILDING
- F2 FABRIC AWNING | OPEN ENDED SLAB | COLOR: SUNBRELLA - ASPEN, (3" PROJECTION / 4" HEIGHT AT TYPICAL & 4" PROJECTION @ DRIVE THRU)
- △ G1 ALUMINUM STOREFRONT | 2" x 4 1/2" PROFILE | THERMAL BREAK | COLOR: DARK BRONZE | 1" CLEAR INSULATED GLAZING: PPG SOLARBAN 70XL (OR APPROVED EQUAL) | REFER TO SHEET A611 FOR ADDITIONAL INFORMATION.
- △ PX1 EIFS SYSTEM | TEXTURE: TO MATCH DRYVIT LIMESTONE FINISH | COLOR: BENJAMIN MOORE #985 BERBER WHITE



1 SOUTH ELEVATION  
1/4" = 1'-0"



2 WEST ELEVATION  
1/4" = 1'-0"

Bakery-Cafe:

# #6038

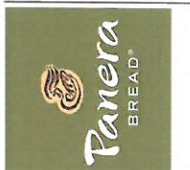
Project Team:

**ARCVISION**  
INCORPORATED  
SAINT LOUIS / DALLAS  
ARCHITECTURE • ENGINEERING • STORE PLANNING

Professional Seal:

Project Title:

**Bakery Cafe #6038**  
531 W. 79th Street  
Chanhassen, MN 55317



Consultant Copyright Placeholder

No.	Description	Date
1	Owner Comments	11/2/17

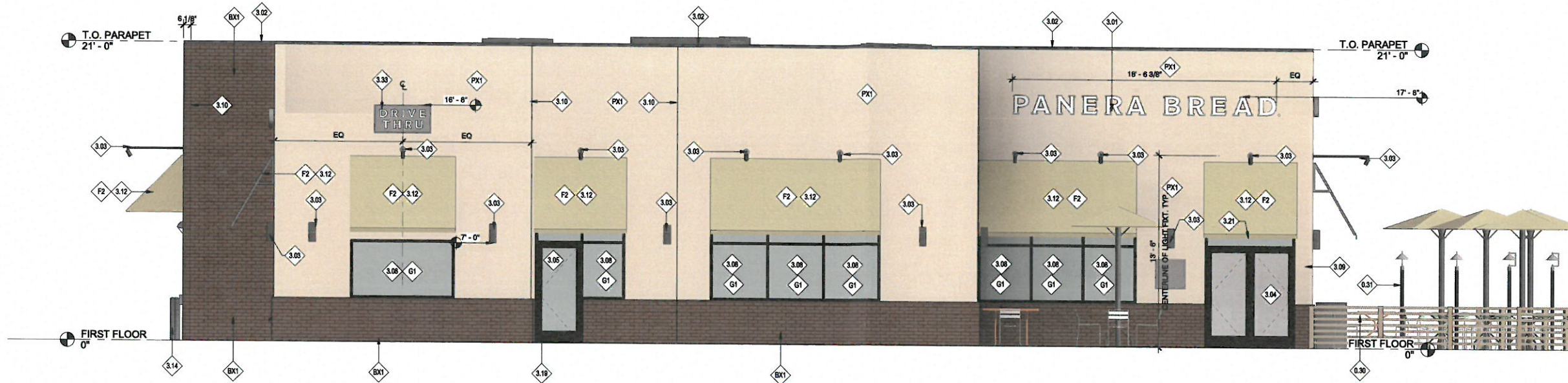
## EXTERIOR ELEVATIONS

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Drawn By: CAQ, MH  
Issue Date: 09.27.17  
DPM: BRIAN B. DM: DAN C. CFM: KEVIN C.

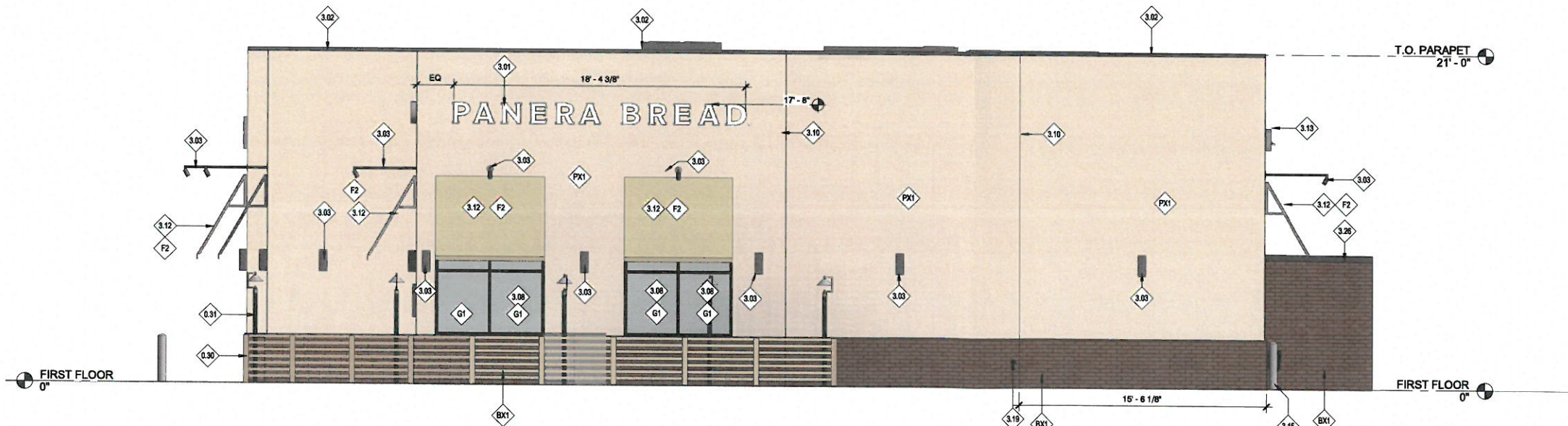
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11/30/2017 6:32:20 PM



1 EAST ELEVATION Realistic  
1/4" = 1'-0"



2 NORTH ELEVATION Realistic  
1/4" = 1'-0"

Bakery Cafe:

#6038

Project Team:

ARCTIC  
INCORPORATED  
SAINT LOUIS / DALLAS  
ARCHITECTURE • ENGINEERING • STORE PLANNING

Professional Seal:

Project Title:

Bakery Cafe #6038  
531 W. 79th Street  
Chanhassen, MN 55317

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No.	Description	Date

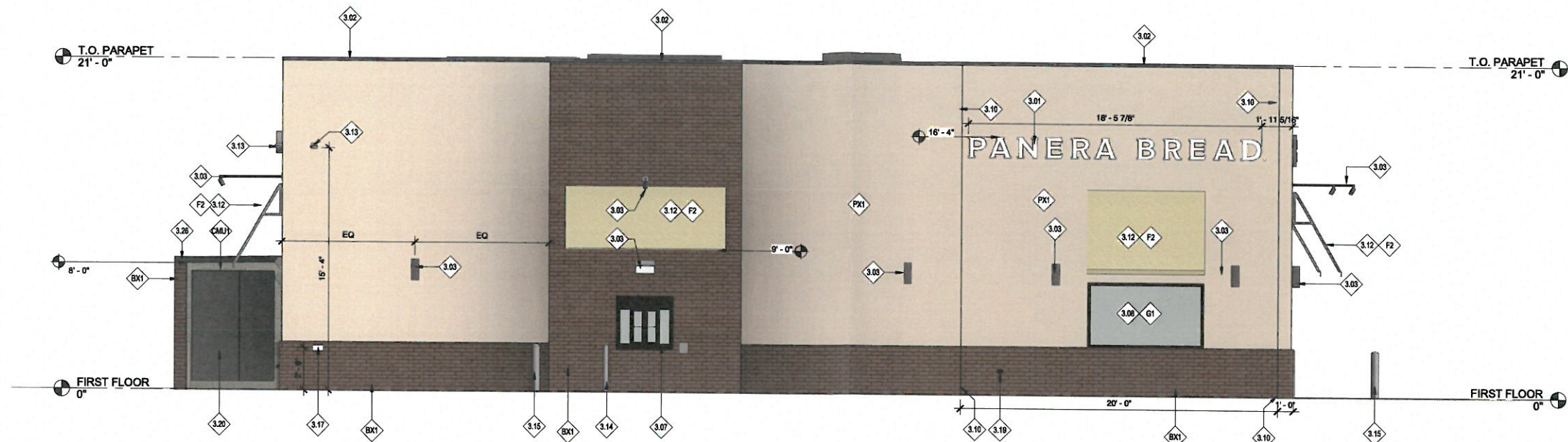
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REALISTIC

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Drawn By: Author  
Issue Date: 09.27.17  
DPM: BRIAN B. DM: DAN C. CPM: KEVIN C.

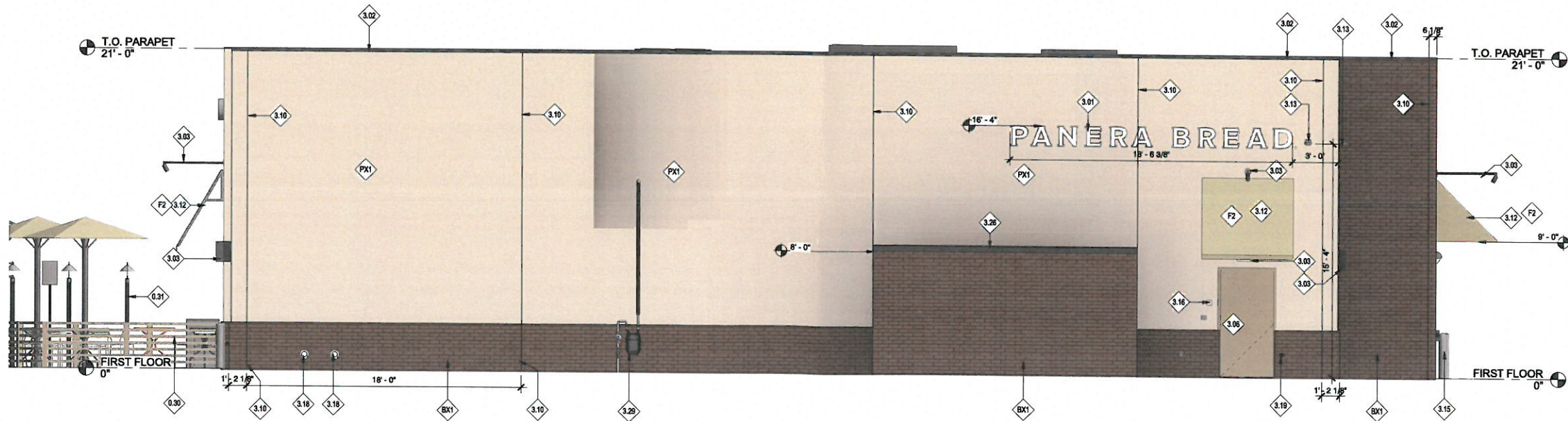
A304



11/06/2017 9:33:07 PM



1 | SOUTH ELEVATION Realistic  
1/4" = 1'-0"



2 | WEST ELEVATION Realistic  
1/4" = 1'-0"

Bakery-Cafe:

#6038

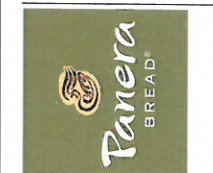
Project Team:

ARCVISION  
INCORPORATED  
SAINT LOUIS / DALLAS  
ARCHITECTURE • ENGINEERING • STORE PLANNING

Professional Seal:

Project Title:

Bakery Cafe #6038  
531 W. 79th Street  
Chanhassen, MN 55317



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No.	Description	Date

ELEVATIONS -  
REALISTIC, CONT.

Project Number: 170917 Sheet Number:

Drawn By:

Author:

Issue Date: 09.27.17

DPN:

DN:

CPM:

BRIAN B. DAN C. KEVIN C.

A305





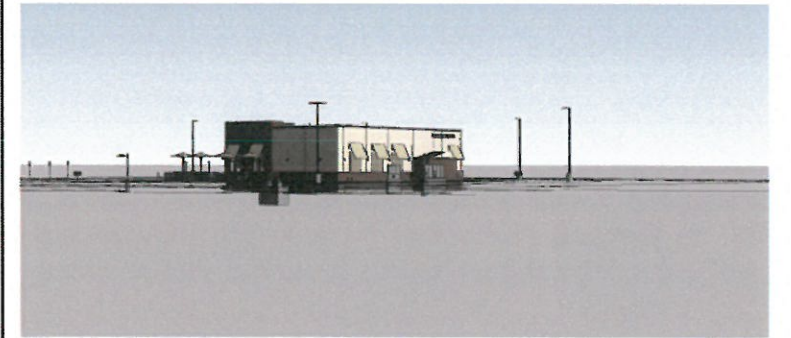
3 | View from across street



4 | View from Entry Drive



5 | View from 36th & Broadway



6 | View from HyVee



1 | 3D View 1



2 | 3D View 2

Comments

? Write a comment

Post a comment to start a discussion.  
[@Mention](#) someone to notify them.



Comments

Write a comment

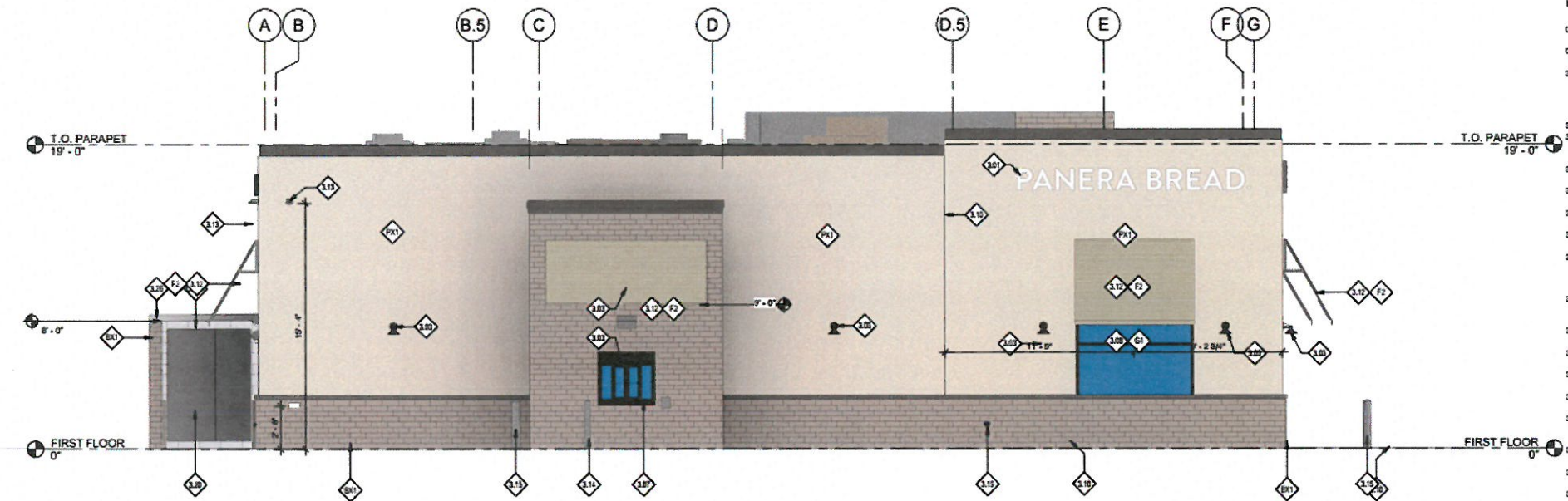
Post a comment to start a discussion.  
@Mention someone to notify them.

GENERAL NOTES:

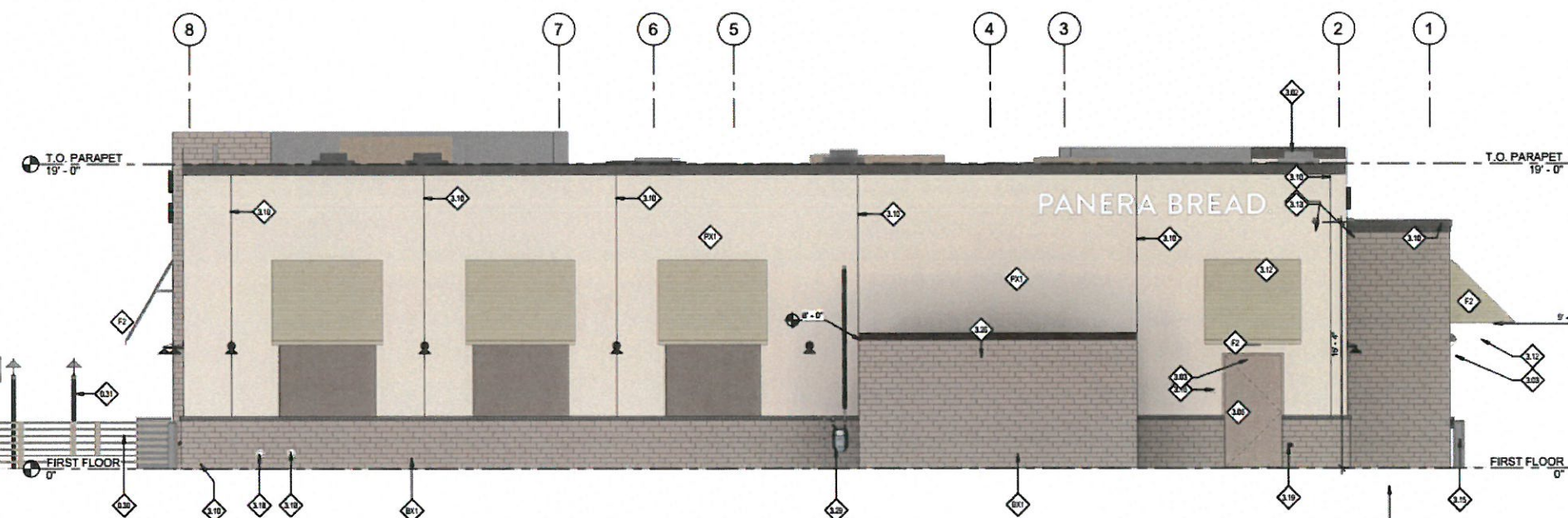
A. ALL GLAZING TO BE G1 UNLESS NOTED OTHERWISE. FOR STOREFRONT ELEVATIONS SEE SHEET A011.

KEYED NOTES

- 0.30 PATIO RAILING BY PANERA, COLOR: CHARCOAL REFER TO 23/A014, TENANT
- 0.31 PATIO SIDEWALK LIGHTS BY PANERA, REFER TO TENANT REFLECTED CEILING PLAN FOR FURTHER INFORMATION.
- 3.01 INTERNALLY ILLUMINATED LED CHANNEL LETTERS, SIGN PROVIDED BY SIGN VENDOR UNDER SEPARATE PERMIT, G.C. TO PROVIDE BLOCKING IN WALL FOR SIGN AND PROVIDE ACCESS PAN BACKSIDE OF PARAPET FOR ACCESS AS REQUIRED. (UNDER SEPARATE SIGNAGE PERMIT)
- 3.02 PRE-FINISHED METAL COPING | FINISH: DARK BRONZE
- 3.03 WALL MOUNTED LIGHT FIXTURE, FIXTURES SHALL BE PROVIDED AND INSTALLED BY GC. GC TO PROVIDE POWER AS REQUIRED. REFER TO REFLECTED CEILING PLAN FOR ADDITIONAL INFORMATION.
- 3.05 HOLLOW METAL SERVICE DOOR, REFER TO A001 FOR ADDITIONAL INFORMATION. | PAINT TO MATCH ADJACENT WALL COLOR.
- 3.07 DRIVE-THRU WINDOW | MFR: QUIKSERV | MODEL: FM42E | COLOR: MATCH STOREFRONT. INSTALLED BY LL.
- 3.08 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLAZING, CC DARK BRONZE REFER TO SHEET A011 FOR FURTHER INFORMATION.
- 3.10 CONTROL JOINT(S) WHERE INDICATED | PROVIDE SEALANT TO MATCH ADJACENT WALL MATERIAL.
- 3.12 PRE-MANUFACTURED FABRIC AWNING PROVIDED AND INSTALLED BY SIGN VENDOR UNDER SEPARATE PERMIT. GC SHALL PROVIDE APPROPRIATE BLOCKING AS REQUIRED BY SIGN VENDOR. REFER TO SHOP DRAWINGS FOR ADDITIONAL INFORMATION.
- 3.13 SECURITY CAMERA INSTALLED BY TENANT | COORDINATE ROUGH-LOCATIONS(S) AND HEIGHTS WITH PANERA CONSTRUCTION MANAGER PRIOR TO INSTALLATION. G.C. TO RUN CONDUIT & JBOX.
- 3.14 4" DIA. CONCRETE BOLLARD | FINISH: PAINT CHARCOAL | REFER TO SHEET A014 FOR FURTHER INFORMATION.
- 3.15 6" DIA. CONCRETE BOLLARD | FINISH: PAINT P107 | REFER TO SHEET A014 FOR FURTHER INFORMATION.
- 3.16 FIRE DEPARTMENT ACCESS BOX | INSTALLED ADJACENT SERVICE DOOR. COORDINATE LOCATION WITH LOCAL FIRE DEPARTMENT.
- 3.18 NICKEL BRONZE NOZZLE RUN/OVERFLOW DRAIN THRU ROOF, MIN. ABOVE GRADE. SEE DETAIL 24A108. INSTALLED BY LL.
- 3.19 HOSE BIBB | RECESSED STAINLESS STEEL BOX. REFER TO PLUMBING DRAWINGS FOR LOCATION AND ADDITIONAL INFORMATION. INSTALLED BY TENANT.
- 3.20 GATE ENCLOSURE AT CART CORRAL | MFR: TREX COMPOSITE PLANK COLOR: SADDLE | INSTALLED BY LL.
- 3.26 STANDING SEAM METAL ROOFING, 12" SPACING. | COLOR: DARK BRONZE
- 3.29 GAS METER - REFER TO PLUMBING DRAWINGS FOR FURTHER INFORMATION.
- BX1 BRICK MASONRY SYSTEM VENEER TO BE PAINTED, MODULAR SIZE MFR: ENDURAMAX, CLAY BRICK | COLOR: #AF-155 WEINMANNEN
- CMU1 SMOOTH FACE CONCRETE BLOCK, PAINT TO MATCH MAIN BUILDING
- F2 FABRIC AWNING | OPEN ENDED SLAB | COLOR: SUNBRELLA - ASPS PROJECTION / 4" HEIGHT AT TYPICAL & 4" PROJECTION @ DRIVE THRU ALUMINUM STOREFRONT | 2" x 4 1/2" PROFILE | THERMAL BREAK | COLOR: DARK BRONZE | 1" CLEAR INSULATED GLAZING: PPG SOLA 70XL (OR APPROVED EQUAL) | REFER TO SHEET A011 FOR ADDITIONAL INFORMATION.
- PX1 EIFS SYSTEM | TEXTURE: TO MATCH DRYVIT Limestone FINISH | COLOR: BENJAMIN MOORE: P555 BERGER WHITE



1 | SOUTH ELEVATION  
1/4" = 1'-0"



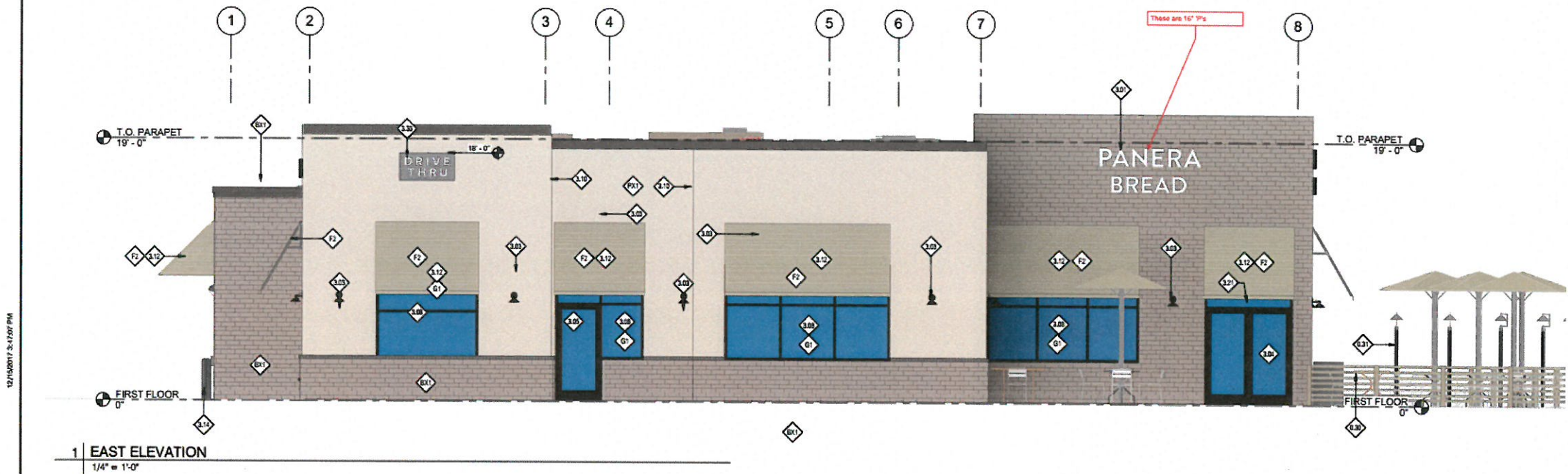
2 | WEST ELEVATION  
1/4" = 1'-0"



Comments

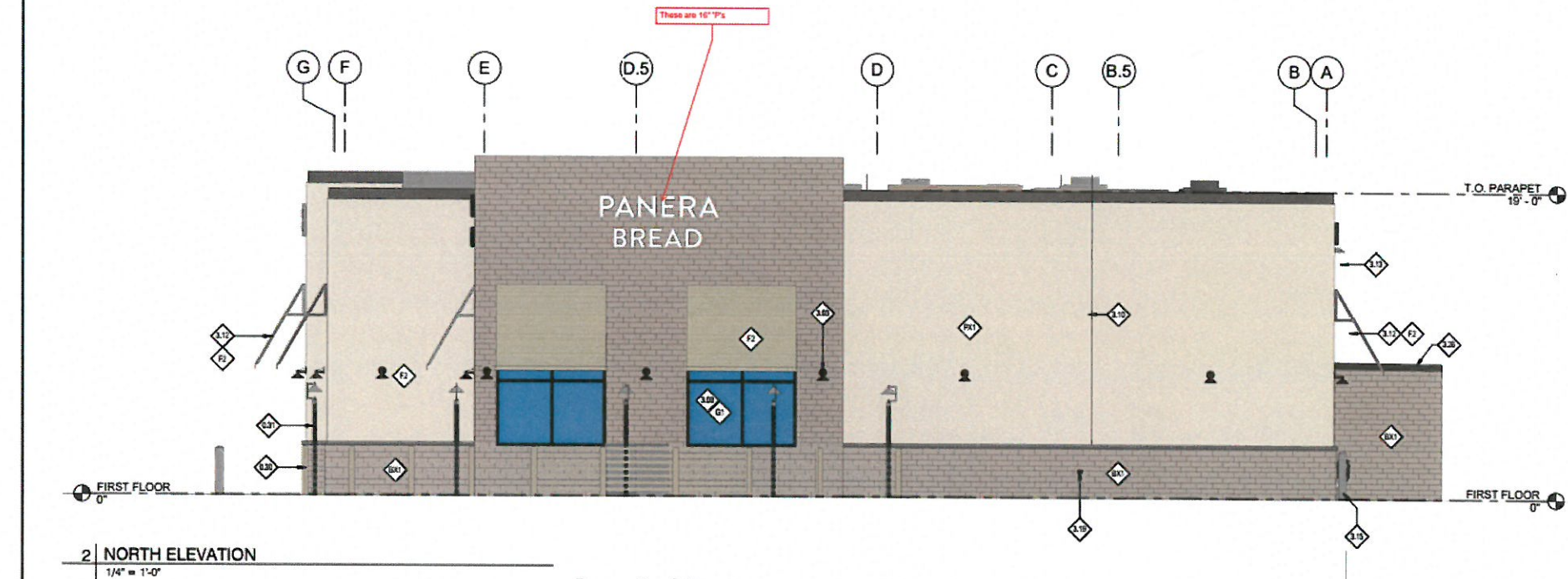
Write a comment

Post a comment to start a discussion.  
@Mention someone to notify them.



KEYED NOTES

- 0.30 PATIO RAILING BY PANERA, COLOR: CHARCOAL REFER TO: TENANT
- 0.31 PATIO SIDEWALK LIGHTS BY PANERA, REFER TO TENANT RE CEILING PLAN FOR FURTHER INFORMATION.
- 3.01 INTERNALLY ILLUMINATED LED CHANNEL LETTERS, SIGN PF INSTALLED BY SIGN VENDOR UNDER SEPARATE PERMIT. G: PROVIDE BLOCKING IN WALL FOR SIGN AND PROVIDE ACCESS BACKSIDE OF PARAPET FOR ACCESS AS REQUIRED. (UNDER SIGNAGE PERMIT)
- 3.03 WALL MOUNTED LIGHT FIXTURE, FIXTURES SHALL BE PROVIDED BY GC. GC TO PROVIDE POWER AS REQUIRED. REFLECTED CEILING PLAN FOR ADDITIONAL INFORMATION.
- 3.04 MAIN ENTRANCE/EXIT | REFER TO A001 AND A011 FOR ADDITIONAL INFORMATION.
- 3.05 SECONDARY ENTRANCE/EXIT | REFER TO A001 AND A011 FOR ADDITIONAL INFORMATION.
- 3.08 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLAZ DARK BRONZE REFER TO SHEET A011 FOR FURTHER INFORMATION. CONTROL JOINTS WHERE INDICATED | PROVIDE SEALANT ADJACENT WALL MATERIAL.
- 3.12 PRE-MANUFACTURED FABRIC AWNING PROVIDED AND INST SIGN VENDOR UNDER SEPARATE PERMIT. GC SHALL PROVIDE APPROPRIATE BLOCKING AS REQUIRED BY SIGN VENDOR. | SHOP DRAWINGS FOR ADDITIONAL INFORMATION.
- 3.13 SECURITY CAMERA INSTALLED BY TENANT | COORDINATE (LOCATIONS) AND HEIGHTS WITH PANERA CONSTRUCTION PRIOR TO INSTALLATION. G.C TO RUN CONDUIT & JBOX.
- 3.14 4" DIA. CONCRETE BOLLARD | FINISH: PAINT CHARCOAL | R SHEET A014 FOR FURTHER INFORMATION
- 3.15 6" DIA. CONCRETE BOLLARD | FINISH: PAINT P107 | REFER A014 FOR FURTHER INFORMATION
- 3.19 HOSE BIBS | RECESSED STAINLESS STEEL BOX, REFER TO DRAWINGS FOR LOCATION AND ADDITIONAL INFORMATION BY TENANT.
- 3.21 BUILDING ADDRESS SIGN | VERIFY SIZE, LOCATION, AND S1 LOCAL FIRE DEPARTMENT
- 3.20 STANDING SEAM METAL ROOFING, 12" SPACING. | COLOR: BRONZE
- 3.33 INTERNALLY ILLUMINATED LED DRIVE THRU SIGN BY TENANT BLACK CHANNEL WITH REVERSE (HALO) ILLUMINATION AND LETTERS. ALL SIGNAGE UNDER SEPARATE PERMIT. G.C. S PROVIDE BLOCKING IN WALL FOR SIGN AND PROVIDE ACCESS BACKSIDE OF PARAPET FOR ACCESS AS REQUIRED.
- BX1 BRICK MASONRY SYSTEM VENEER TO BE PAINTED, MODUL. MFR: ENDURAMAX, CLAY BRICK | COLOR: PAN-155 WENMA. FABRIC AWNING | OPEN ENDED SLAB | COLOR: SUNBELLE. PROJECTION | 4" HEIGHT AT TYPICAL & 4" PROJECTION @ DI
- G1 ALUMINUM STOREFRONT | 2" x 4 1/2" PROFILE | THERMAL B COLOR: DARK BRONZE | 1" CLEAR INSULATED GLAZING: PF TOLX (OR APPROVED EQUAL) | REFER TO SHEET A011 FOR INFORMATION
- PF1 EIFS SYSTEM | TEXTURE: TO MATCH DRYVIT LIMESTONE PF COLOR: BENJAMIN MOORE #955 BERBER WHITE





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D.5

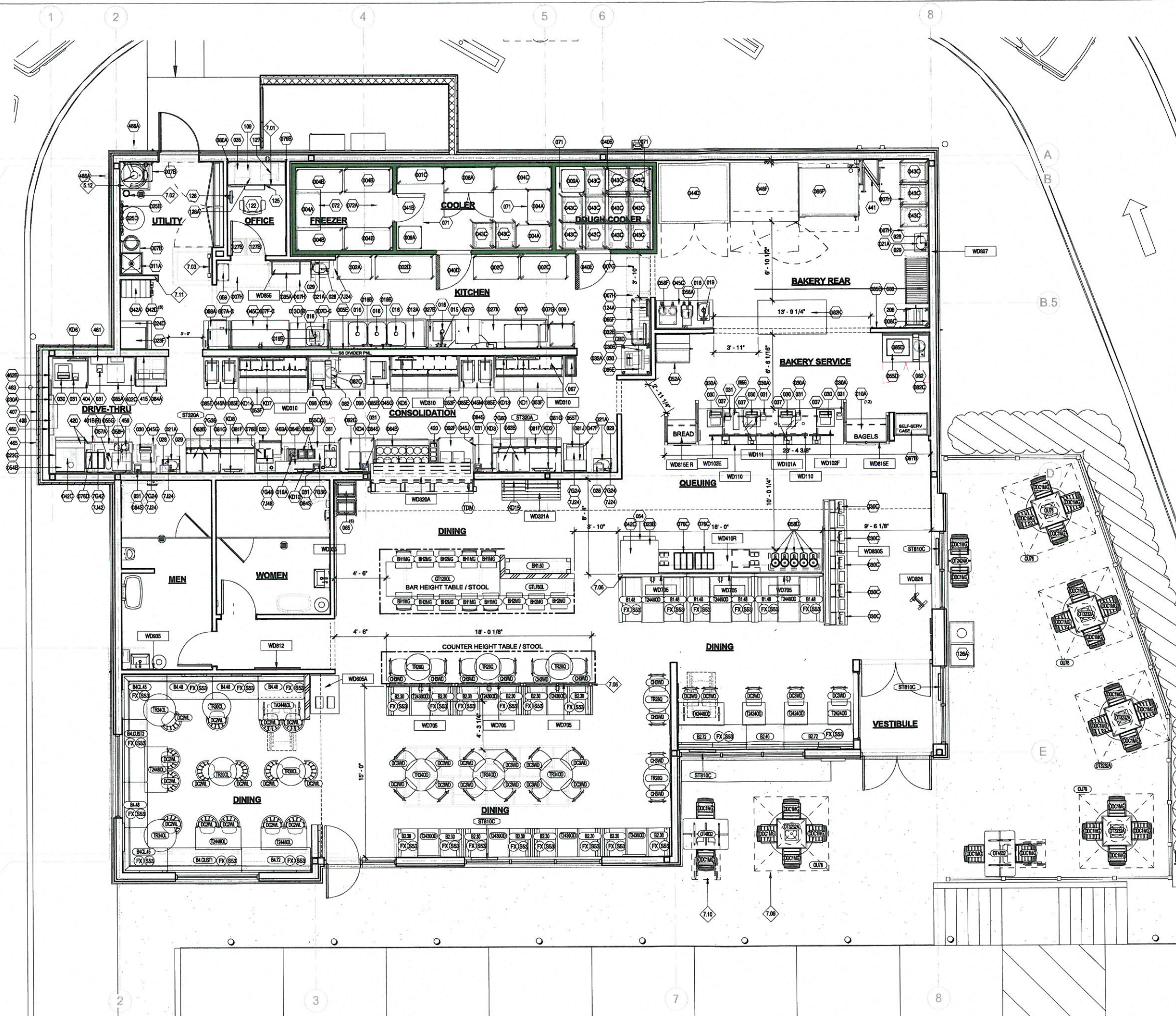
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# 1 EQUIPMENT PLAN

1/4" = 1'-0"



## KEYED NOTES

- 5.12 WATER HEATER LOCATION TO BE LOCATED ON STAND. SEE DETAIL 14/A524.
- 7.01 OFFICE SAFE TO BE INSTALLED FLUSH WITH THE FRONT OF THE DESK ON THE RIGHT HAND SIDE.
- 7.02 FIRE SPRINKLER RISER LOCATION. FIRE SPRINKLER DESIGN PROVIDED BY OTHERS UNDER SEPARATE PERMIT.
- 7.03 ALUMINUM ROOF LADDER
- 7.06 DINING SCREEN WALL FURNITURE, REFER TO 18/A521 FOR SUPPORT TO STRUCTURE ABOVE DETAIL AND EQUIPMENT PLAN FOR SCREEN PLACEMENT LOCATION.
- 7.09 CLEARANCE AT EDGE OF UMBRELLA TO BE MINIMUM OF 84" AFF CLEAR
- 7.10 ACCESSIBLE SEATING
- 7.11 LOCATION OF APPROVED FIRE EXTINGUISHER RATED 2A-10BC. LOCATE WITHIN 30' TRAVEL DISTANCE FROM LIKE EXTINGUISHER.

### FURNITURE:

UPHOLSTERY:	REFER TO PLAN TAGS
BOOTH TYPE:	WOOD
COMMUNITY TABLE:	PER PLAN
TABLE TOPS:	PER PLAN
TABLE BASE TYPE:	STANDARD
CHAIR TYPE:	G4 PER PLAN
STOOL HEIGHT CHAIR:	G4 PER PLAN

### TABLE SERVICE:

APPLICABLE TO THIS MARKET?	YES
----------------------------	-----

### CO2 MONITORING:

IS THIS REQUIRED?	NO
-------------------	----

### CAL133:

IS THIS REQUIRED?	NO
-------------------	----

### MILLWORK:

BAKERY FRONT	WD30
PANELS:	WD31
BREAD/BAGEL WALL:	WD31
CHAIR RAIL/CAP:	WD33
RFU UNIT FINISH:	WD30
P2 WALL FINISH:	WD33

### DESIGN NOTES:

## EQUIPMENT PLAN LEGEND:

- XXX ROOM NUMBER SYMBOL
- XXXX SIGNAGE IDENTIFICATION SYMBOL
- XXXX EQUIPMENT IDENTIFICATION SYMBOL
- STXXXX STEEL IDENTIFICATION SYMBOL
- WDXXXX WOOD IDENTIFICATION SYMBOL
- REL RELOCATION INDICATION SYMBOL
- FURN-F FURNITURE IDENTIFICATION SYMBOL
- DOOR DOOR NUMBER SYMBOL
- FABRIC FABRIC DESIGNATION SYMBOL (SEE A531 SHEET)

Bakery-Cafe:

# #6038

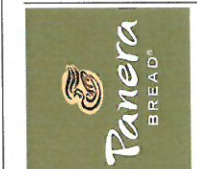
Project Team:



Professional Seal:

Project Title:

**Bakery Cafe #6038**  
531 W. 79th Street  
Chanhassen, MN 55317



Consultant Copyright Placeholder

No.	Description	Date
1	Owner Comments	11/2/17

## FLOOR PLAN EQUIPMENT

Project Number:	Sheet Number:	
170317	A703	
Drawn By:		
ARCV, MH		
Issue Date:		
09.27.17		
DPM:	DM:	CPM:
BRIAN B.	DAN C.	KEVIN C.